

**BUILDING EVALUATION REPORT
BASED UPON VISUAL OBSERVATIONS
AT**

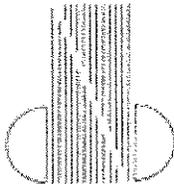
“CAPTAIN WILLIAM TYSON HOUSE”

**49 EAST PASSAIC STREET
TOWNSHIP OF ROCHELLE PARK
BERGEN COUNTY, NEW JERSEY**

**FOR
TOWNSHIP OF ROCHELLE PARK**



JUNE 1, 2015
PREPARED BY



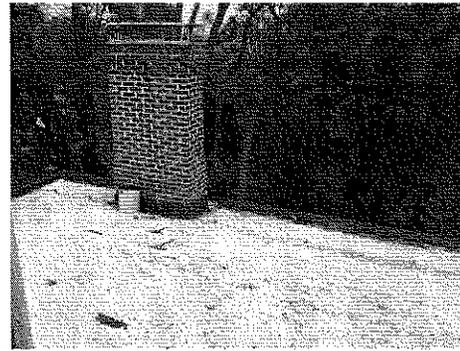
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1.0 EXECUTIVE SUMMARY

The property located at 49 East Passaic Street in Rochelle Park, New Jersey has three structures on it: the main three story residence, a one and a half story two car garage and a small garden shed. All structures are wood-framed with masonry foundations. The buildings are presently vacant, but some materials from the current owner are still in the house and garage. The interior of the main house requires restoration and refurbishment of plaster wall and ceiling surfaces and decorative plaster and wood moldings. Most deficiencies in the house are cosmetic in nature, such as cracking and damaged plaster, torn and peeling wall paper, peeling paint, cracked window panes, etc.

The exterior facades are classic examples of the Italianate style popular at the time the house was built. Style characteristics present includes a hip roof capped with a cupola, heavy brackets creating a heavy cornice at the large projecting roof eaves, ornamental windows, porch, and doorways. The house has been sided with a cementitious siding that should be tested for hazardous material content. We would anticipate that the original wood siding exists behind the applied siding. The condition of which is unknown. The windows, entry and porch are ornately detailed, painted wood with accent appliques and moldings. In most cases, these trims, moldings, and details are in need of some refurbishing and repainting.



View at main roof looking southwest

The roofs (both main roof and roof at the two story kitchen portion of the house in the rear) are metal (tin) roofing with integral yankee gutters and leaders. The roof should be replaced including gutters, leaders, soffits, flashings, etc. There is extensive water damage at the main third floor and servant's quarters the rear second story reflecting a history of failings at the roof system. Gutters were observed full of still water that was not draining and in one instance dripping through seams in the wood fascia, soffit, and trim of the yankee gutter enclosure causing further damage to the building.

The house is served by natural gas, domestic water, electric and cable services. The 100 AMP electric service is somewhat antiquated and not sufficiently sized to properly serve a structure of this size and should be upgraded and replaced. The building is heated by a ducted forced air furnace in the cellar that is distributed through the house primarily via the four main chimney flues in the house.

The structure of the house and other buildings appear sound. The property landscaping and hardscapes are in need of maintenance and some refurbishment, repairs or complete replacement. Consideration should be given to addressing site ingress and egress due to the driveways somewhat unsafe proximity to the Route 17 South access ramp.

The main concerns based upon our observations which should be addressed are as follows:

- The roof system should be replaced including integral gutters, leaders, soffits, flashings, etc.
- Replace/upgrade electric service.
- Have a thorough and complete environmental investigation and report performed on the property due to the presence of suspect floor tile, paint, siding, insulation, etc.
- Redesign of the access to the site from East Passaic Street should be considered.
- Perform general clean up and maintenance of overgrown landscaped areas and lawn.
- Repair all damaged plaster surfaces and moldings. Refinish all wall surfaces.
- Repair all damaged third floor plaster ceilings and patches.

In addition, we observed other conditions which you should be aware of:

- The access drives should be tended to as there are large ruts in the dirt and gravel drives from vehicle tires.
- Repair existing concrete sidewalk, blue stone path and rubble stone entry elements.
- Repair cracked window panes throughout house.
- Refinish wood floors after removal of existing sheet floorings, carpet, etc.
- Remove current siding to restore original look of the exterior of the house.
- Distribute and install additional electric convenience outlets throughout the house to properly serve the spaces.
- Refurbish and repaint all wood trim and elements on exterior.
- Replace stairs and railings at front porch and mudroom addition.
- Test the existing heating system to verify it is operable and adequate heating.

We have included sketched floor plan diagrams that are not to scale, dimensioned or necessarily in proportion in *Appendix A* for a basic understanding of the layout of the three main floors of the main house. *Appendix B* has every photograph we took during our evaluation. We have informally annotated most of these photographs to clarify where they are taken and/or particular point of interest. Finally, *Appendix C* has a copy of the Township of Rochelle Park zoning chart with the current zoning requirements for the subject site.

2.0 SITE CONDITIONS

The property is located on the south side of East Passaic Street adjacent to (directly west of) Route 17 in the Township of Rochelle Park. The address is 49 E. Passaic Street. The tax map designation is Lot 1, Block 50.01. The site is located within the Residential zone.

The building and site, to the best of our knowledge, has served as a single family residence for its entire existence which is consistent with the Township of Rochelle Park's current zoning for the site. We have included a copy of zoning table in *Appendix C* of this report. The surrounding neighborhood generally consists of similar uses (single family residential). There are some

commercial developments east and west of the site: on the other side of Route 17 to the east and towards the Rochelle Avenue commercial district to the west.

East Passaic Street is a primary local street with access to Route 17 and Route 4, Garden State Parkway, and Rochelle Park's commercial and municipal center. The site is accessed by two curb cuts that are connected on site by a semicircular drive. The east most curb cut egresses directly onto the existing Route 17 south bound entrance ramp and has limited sightlines to oncoming traffic. The site ingress and egress should be reviewed and potentially redeveloped to provide safer access to East Passaic Street. The driveway connecting the two curbcuts as well as accessing the garage structure and parking onsite is dirt and gravel with deep ruts worn into the surface from the vehicle tires.

The site has three structures on it: the main three story plus cellar and cupola house, a one and half story two bay garage, and a small garden shed. In addition a $\pm 20'-0"$ (estimated) tall single flag pole exists on the east side of the property between the garage and main residence.

The majority of the site, with exception of built structures and the dirt and gravel drives, is lawn or landscaped. The grass areas, while having some dirt spots and weed ridden areas, show signs of being maintained and cut during our visit. Landscaped areas are overgrown and in need of some maintenance (i.e., trimming, weeding, mulching, etc.) This aside, much of the grounds landscaping shows signs of having thought and design behind the layout. There are several mature deciduous trees on site in proximity to the built structures. This presents a maintenance issue as falling leaves will clog building gutters and leaders (most of which appeared to be clogged during our visit). The area of the front yard closest to East Passaic Street is an overgrown mix of shrubs and evergreen pine trees that create a natural privacy screen for the residence from East Passaic Street.

Along East Passaic Street, both curb cuts are framed by rubble stone masonry piers. A pedestrian entrance to the site towards the center of the property has smaller rubble stone flared retaining walls and stair risers up to the front yard which is accessed by a bluestone walk. The stone pillars are in need of some repointing of the mortar joints as stones could be pulled out by hand during our visit. The bluestone stair treads and walkway are in fair condition, but some treads are missing stones and some have chipped corners and edges. The public sidewalk along E. Passaic Street is cracked and damaged in need of repair, or more likely full replacement.



View from west entry drive from East Passaic Street

There is limited site lighting at the site currently. There is a ceiling mounted fixture at the porch ceiling and there is a street light at the property illuminating the access ramp onto Route 17 South from East Passaic Street.

3.0 BUILDING CONDITIONS:

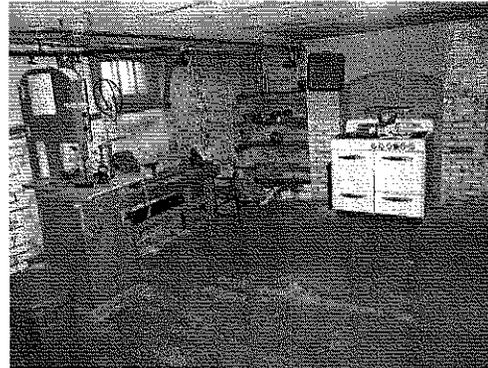
We have drawn floor plan diagrams for floors one through three and included these in Appendix A of this report. Please note these sketches are not to scale, dimensioned or necessarily in proportion. They are simply to be used to illustrate general layout and approximate relationships of the interior spaces of the main house.

The main house is three stories high plus a cellar and small cupola at the high point of the house that is accessed by a stair and hatch. The structure is wood framed with a brick masonry foundation walls and cellar floor. The construction would be considered a Type VB, unprotected wood framed structure, and exceeds limitations of height and number of stories indicated in the International Residential Code-New Jersey Edition.

3.1 MAIN RESIDENCE:

3.1a: CELLAR

The cellar consists of approximately four rooms plus hallways. The cellar has clay brick flooring and walls (both interior and exterior) and a plaster ceiling at the underside of the floor structure above. The ceiling height is approximately 7'-10" high. The cellar has a number of windows of reasonable size providing natural light to much of the subterranean space. The cellar houses all of the utility entry points and equipment for the house. Electric, gas, and domestic water service all come into the house at the north half of the cellar. The cellar also houses the heating system and water heater equipment for the house including the furnace and two (2) oil tanks. The main horizontal ductwork distribution for the house occurs in the cellar limiting clear head height in locations. Also located in the cellar are a slop sink and laundry facilities as well as an old gas stove. There is a "Bilco" type hatch and stair to access the cellar from the outside on the east side of the house.



Typical view at cellar space.

The cellar has a musty smell upon entering due to moisture. While no standing water or leaks were observed during our visit, there is clearly moisture in the space. The plaster ceilings are damaged and need of repair in some locations. There are existing items from the current owner in the cellar. Amongst these items are what appear to be the removable screens for the ground floor windows. The quantity was not determined to verify that all of the screens were intact and accounted for.

3.1b GROUND FLOOR

The ground floor has approximately 11'-0" high plaster ceilings that feature ornate plaster accent moldings and decorative medallions with suspended chandeliers. Rooms on this floor have large built up wood \pm 11" high crown moldings, \pm 10 1/2" base moldings, substantial painted wood door frame trim, and a picture rail moldings mounted at \pm 9'-0" above the floor. Each major room has a marble fireplace mantle and hearth that is unique to that particular room. All have been modestly modified with cast iron panels and grills to accommodate the retro fitted hot-air heating system while maintaining the original aesthetic of the fireplace. Walls generally have different wall papers in each major room with paint in minor accessory spaces and closets. Original wood floor are located throughout some rooms having carpet or glue-down sheet flooring over it. This level also features \pm 9'-0" high single-hung wood windows. During our visit, we did not verify if the windows were operable and many had cracked glass panes. Doors are generally 8'-0" high, painted wood paneled doors which closed and latched normally which is notable for a structure of this age.



Typical view at ground floor ceiling and space.

Many of the original details and hardware are intact and functioning including, but not limited to, window and door hardware, casework knobs, pulls and locks, several call bells, key hole covers, stair railings, newel post, balusters, panels, etc. Most light fixtures remain (with the exception of Parlor 1) and have been retrofitted with electric light bulbs. Three of the ground floor parlors have large vertical mirrors with a marble stool supported by decorative detailed, carved wood paneling and supports. All of which appear in good condition.

The following is a brief summary of deficiencies or unique conditions found in each significant room on this level of the house. Please refer to the floor plan diagram in *Appendix A* to identify each room location.

Parlor 1:

As with all rooms there is cracking of plaster wall and ceiling finishes/surfaces. Paint of ceilings and decorative moldings are peeling and in need of refurbishment. The most significant plaster damage is located on this room's ceiling including decorative plaster moldings and missing chandelier fixture. Wall paper is peeling, torn or damaged in many areas. Several window panes are cracked. Wood floors are in need of refinishing.

Closet Pass Through Between Parlor 1 and Dining Room:

We anticipate this pantry of sorts was used by servants to support activities in the two adjacent rooms. Drawers, locks, pulls, knobs, keys, etc. are in good, mostly working condition. Telephone wire and jack are exposed in this room, dangling from ceiling

Dining Room:

This room has a textured plaster wall finish that appears not to be original. Painted ceilings and walls are peeling and have some cosmetic cracking. The wood floor has an applied sheet flooring finish of unknown origin or material and should be tested by an environmental firm to confirm no hazardous materials exist. The dining room has an original door that now opens into a plumbing chase for the bathrooms of the house.



View at front windows and mirror.

Parlor 2:

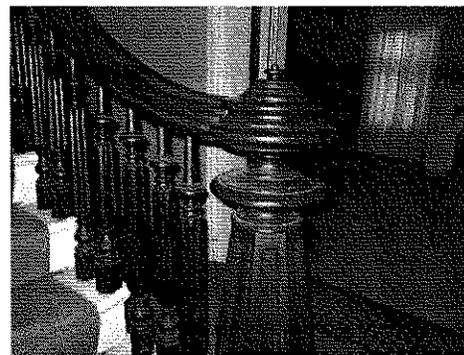
This room is carpeted and has wallpaper that has the same cosmetic problems as documented in previous rooms. The door knob at one of the double entry doors is loose and comes off when pulled and should be repaired. A double pocket door sticks a little, but is operable given some effort. Chandeliers and wall sconces exist and are in good condition and notably ornate with detail. Painted moldings and ceilings have cracking and peeling paint as throughout.

Parlor 3:

This room is connected to Parlor 2 through the double pocket doors in the wall separating the two rooms. Most of the comments in Parlor 2 apply here as well. This room is missing a light fixture and has an open electric box at that location. Both rooms have a porcelain mounted metal crank that was originally tied to a servant call system while the crank moves and engages no bell rings and may have been disconnected.

Stair Hall:

The entry hall has an applied sheet flooring over the wood flooring. As with the Dining Room, the nature of this product is unknown and should be tested. The entry/stair hall walls and ceilings are painted and have similar cosmetic deficiencies as discussed in other spaces. Several floor registers have been retrofit into the floor to provide hot air heating to the space. Two surface mounted smoke detectors have been installed at either end of the long space that runs from front to back. Toward the rear of the space is a bathroom that was apparently retrofitted into this location, and a partial height vestibule for the kitchen area that may or may not be original.



Detail at ground floor stair newel post.

Bathroom:

The existing bathroom that seemingly was added to this area later on in the house's life occupies an area where a dumbwaiter used to exist and potentially where final touches were made on

meals being served at the Dining Room. The bathroom has vinyl composition tile floors, ceramic tile wainscot with paint above on walls and ceiling. The bathroom has a linen closet, sink, toilet and bath/shower. The shower head is missing. The $\pm 4'-7'' \times 9'-7''$ size of the existing room is very close in size to accommodate a new unisex single occupant handicapped accessible toilet room, but requires further review and design.

Kitchen:

The corridor to the kitchen from the stair hall has access to the rear service stair of the house. Located in this area is a security alarm panel that is unclear if it still works and the extent of its protection. Exposed wiring/cabling and an open electric box were also observed in these areas. A now obsolete door to the exterior exists in the west wall here, but has been sided over on the exterior.



View at ground floor kitchen.

The kitchen area is down two steps from the main ground floor area ($\pm 16''$ total). The large kitchen area has a makeshift collection of original and newer cabinetry, plumbing, appliances, etc. The kitchen has a double sink, refrigerator, and gas range/oven. The walls have wall paper and the ceiling is painted with a surface mounted strip fluorescent light fixture with prismatic lens. The flooring has a $\pm 8'' \times 8''$ tile that is questionable and may contain hazardous materials. These tiles and adhesive should be tested by a qualified environmental company.

Off the kitchen is a small mudroom with access to the outside. This room appears to be a small addition added to the house after the original construction.

3.1.c – SECOND FLOOR:

Generally, the second floor of the house is much less ornate than the ground floor which is typical for residences of this time and age. The ceiling heights are $\pm 9'-0''$ high with $7'-0''$ high painted wood panel doors (top panels of bedroom doors are vented). Light fixtures, where present, are simple and of a much smaller scale fitting the bedrooms. Each bedroom has a fireplace in it similar to the ground floor spaces with the design of each pair on the east and west sides matching. Many of the same issues persist on this floor as the ground floor including cosmetic cracking of plaster ceilings and walls, cracked windows, peeling of paint finishes, floors need to be refinished, etc. Many of the closets have been retrofitted with minimalist lighting fixtures powered by exposed surface mounted wiring.

Bedroom 1:

The marble keystone applique has fallen off the mantelpiece but appears intact and rests on top of the mantle. The closet here has an applied sheet flooring over the wood floor.

Bedroom 2:

The ceiling in this bedroom shows signs of significant patching and repair work for a problem that is currently unknown. Portions of the floor are painted and have some bulging floor boards that should be repaired and the entire floor refinished.

Bedroom 3:

The floor of this room is partially painted. The room has a large closet with built-in case work at one end. As with downstairs, the drawers pulls and locks appear to be functioning and in decent condition.

Bedroom 4:

This bedroom has a similar closet as discussed Bedroom 3. Some of the stonework at the fireplace is loose. The light switch in this room is loose and only partially working and should be repaired. Several loose floor boards were lifting to expose open, concealed electric boxes that should be covered and remedied. There is an open electric wall outlet in this room.

Bath:

The bath has wood wainscoting with paint above vinyl composition floor tile, and painted ceilings. Opening the panel enclosing the sanitary chase exposed a rusting and stained vertical sanitary drain.

The walls and ceilings have significant paint peeling and temporary surface patches that need attention. The room has a porcelain tub, toilet, and marble vanity sink.

Servants Bedrooms 1 and 2:

These rooms have signs of significant water damage on their walls and ceilings. While there were no signs of a current water infiltration problem, it is clear there is a history of water problems in both of these rooms stemming from roof flashing failures at the existing chimney above. The ceilings here are \pm 7'-6" high. The rooms have exposed wiring. The floor tile in Bedroom 2 is questionable and may contain hazardous materials and should be tested.



Water damage at servants' bedroom.

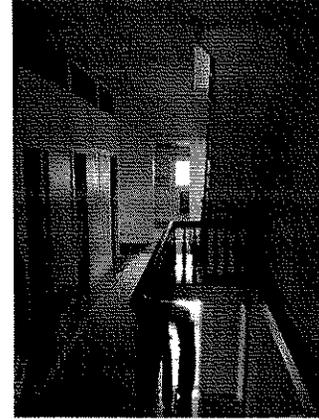
Stair Hall:

The stair hall has a closet. The stair continues up to the third floor above. The hall here has many of the same cosmetic issues as the rest of the house.

3.1.d THIRD FLOOR:

The third floor has the most items left over by the current owner that should be cleaned out. The third floor has six (6) bedrooms (one of which has been adapted to a kitchen of sorts), the central

stair hall that has been retrofitted with a less than sensitively installed closet that should be removed to restore the original condition of the area, and a bathroom. The ceiling at this floor reflect the sloping of the hip roof form above with heights ranging from $\pm 6'-8''$ at the perimeter to $9'-0''$ at center of the floor plate. Ceilings here, (nearly everywhere), are water damaged extensively. They show signs of various patches and repairs through the years. No sign of current water infiltration was observed but existing damage is significant and would require nearly entire replacement. During our visit all windows were open which leads us to question if odors are a problem on this floor from previous water damage. Painted wood panel doors on this level are $6'-8''$ high.



View at third floor stair hall.

All spaces have interconnected, hardwired smoke detectors. All wiring is run exposed fastened loosely to the ceiling that should be reinstalled in the attic/under roof spaces. Heating is provided through existing chimneys as in floors below. Lighting is provided by a variety of retrofitted fixtures

A stair up from the stair hall leads up to the cupola via a ceiling hatch. Several access hatches exist at wall surfaces at the stair that allow visual access to the underside of the roof and third floor wood frame structure. These spaces have blown-in insulation that should be tested for hazardous materials and a large amount of vermin/rodent feces was observed on the insulation indicating a past or current pest problem as well as the unhealthy aspect of the waste present.

3.1.e CUPOLA:

The cupola at the top of the structure has some plaster cracking and paint peeling as with other areas of the building. Arch top windows with shutters line all four sides of the small space that needs to be cleaned out of all of the items stored here. And while visibly not square from below, the cupola appears structurally sound.



View inside cupola.

3.2 GARAGE:

The detached, 1-1/2 story, two-car, wood framed garage building sits to the east of the main house. The structure is approximately $32' \times 35'$ and has a wood plank framed ground floor with crawl space (assumed). A narrow steep stair accesses the upper level. The ceiling height at the ground level is $\pm 10'-3''$ with $\pm 10'-4''$ to the underside of ridge beam at the upper level.

The garage is accessed by two (2) ± 8' x 8' garage overhead sectional doors. The spaces are finished in wood bead board. The structure appears structurally sound.

3.3 SHED:

A small wood framed shed exists on the site to the east of the house. We were unable to access the interior of this structure. The exterior surfaces and roof appear to need some repair and refurbishment work.

4.0 STRUCTURAL SYSTEMS

The building is wood framed with a series of wood stud bearing walls throughout. While generally the structure is concealed by finished ceilings, etc. The structure was observed in several locations to confirm the basic construction type (i.e., loose floor boards that were removed, access hatches at stair to cupola at top of the building, etc.)



Typical roof framing and blown in insulation.

The cellar foundation walls and floor are both constructed of clay brick. In addition, most interior bearing walls in the cellar are also constructed of clay brick. Some of the brick should be repointed as mortar has worn/broken away at locations. A musty odor is present in the cellar indicating the presence of moisture which is not a surprise based on the permeability of clay brick. No signs of extensive water infiltration or puddling were observed during our visit. There appeared to be some indication of moisture at the cellar foundation wall at the south west corner of the kitchen portion of the house with potential mold and darkening and flaking of paint finish.

The clear approximate ceiling heights in the building are as follows:

Cellar: 7'-10"

Ground Floor: 10'-11"

Second Floor: 9'-0" (7'-6" at Servant's Bedrooms)

Third Floor: Varies with slope of roof, generally 6'-8" minimum to 9'-0" maximum.

The cupola at the top of the residence roof has a noticeable lean to it from below, but it appears structurally sound and windows and shutters appear to open and close which may suggest it was by design to allow for roof storm water drainage. The overall structure of the house appears to be solid and uncompromised. The floor and stairs are markedly quiet given the age of the structure.

5.0 ROOF SYSTEMS

No immediate access to the roof surfaces was available. All observations are being made from visual access only via windows. The roof system at the main house at all levels (main building roof, kitchen/servants portion and porch) have what appears to be a very old metal (tin) roof system with integral, concealed yankee gutters at the perimeter that lead to downspouts to grade. In one location the downspout enters a boot at grade to an undetermined subgrade pipe or basin. This could not be confirmed at the time of our site visit. The roofs are interrupted by five separate chimneys, bathroom exhaust vents, plumbing vents, etc. There appears to be a lighting strike grounding mounted to the roof as well that runs around the roof and down the face of the house to grade.



View at roof over kitchen portion of house.

The roof shows signs of attempted makeshift repairs, mostly at vertical penetrations, with asphaltic roofing patch materials that are not consistent with the existing roofing system. A can of the aforementioned asphaltic patch is still resting on the roof and presents a hazard if blown off. The existing brick masonry chimneys, need to be repaired and repointed in some instances and the caps investigated and repaired/restored as necessary.

Most gutters were full of water on the day we visited. The storm water drainage system is clogged and not draining properly. This will need immediate attention as water was observed dripping from the wood trim work concealing the gutter systems. Most soffits at roof overhang show deterioration and/or damage and will need repair/replacement work.

At the third floor ceiling and second floor at servant's quarters there is significant water damage from apparent water infiltration from the roofs. During our visit no current moisture or water was observed suggesting that the makeshift patches might have temporarily limited water infiltration. Due to the apparent age of the roof system, significant ceiling damage below, makeshift/non-compatible repair work, clogged gutters and drainage system, etc. we would recommend investing in a new roof system and gutter system for the house including repointing and repairs at existing brick chimneys, etc.



Typical ceiling damage at third floor.

The roofing system at the garage building appears to be an asphalt shingle roofing and appears to be in fair condition with no indication of leaking observed. Gutters and leaders at the garage should be replaced as they are damaged, filled with leaves and/or missing outright. Adjacent

deciduous trees shedding leaves present a maintenance item in gutter cleaning at the garage primarily, but also at the main house roof.

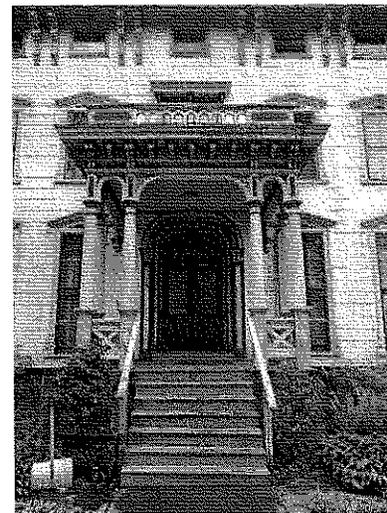
6.0 FACADES

The house is a great example of Italianate style architecture which was prevalent during the time this structure was constructed. Classic characteristics of the style are evident including a hip roof capped with a cupola, heavy brackets creating a heavy cornice at large projecting roof eaves, ornamental windows, porches, and doorways, etc.

Generally the facades of the main house have cementitious, face-nailed siding that potentially has hazardous materials in them (i.e., asbestos) and should be tested by a qualified company to ascertain if any hazard exists. While not confirmed, we anticipate that behind this applied siding is the original wood siding, the condition of which we cannot report on or qualify. The exposed foundation wall at grade is painted brick masonry. Windows and doors are trimmed out ornately in wood featuring small pediments at the top of the windows with built-up scrolled jambs with small accent rosettes and other applique details painted in accent colors. Significant roof overhangs are met by ornate, scrolled brackets from the exterior wall to the full extent of the overhang. The overhang soffits are wood strip and are generally in poor condition. The building is capped by a belvedere, or cupola, that features round top vertical window and ornate brackets at the roof overhang in compatible language as the rest of the house and consistent with its Italianate style.

6.1 North Façade (Front):

The front façade of the building (facing East Passaic Street) is consistent with the general discussion above. All painted wood trim and decorative elements need to be scraped, repaired, restored, and painted. As discussed in the "Building Conditions" Section of this report, many of the windows are cracked. The front porch columns, railing, etc. are in need of repair and repainting. The front stair and railings are not original and do not match the ornate nature of the porch and entire building. If desired, these should be rebuilt to more closely match the character of the rest of the house. Brick piers at the base need some repointing. Two sets of wood doors create the main entrance to the house with the outer pair serving as a vestibule during inclement weather and on more pleasant days they swing open and latch into side walls to create a wood paneled entry recess for the inner doors. Both sets of doors appear in decent condition with some cosmetic damage. Small details like hardware, keyhole cover and doorbell pull all remain intact and in good condition. The electric service overhead wires come to the house at the west corner of this façade.



View of entry porch.

6.2 East Façade:

The east façade is consistent with the north in terms of description and deficiencies. The 'bilco' type hatch with stair to access the cellar is on this side of the house. The cable service wire comes to the house overhead at the north corner of this façade and runs exposed to the south corner where it enters the building. Also on this façade is a small mudroom addition with makeshift stairs and railings that should be replaced. It appears that the window over the kitchen sink at the rear portion of the house is not original.



View towards east façade.

6.3 South Façade:

The roof soffits at this side of the house are in particularly bad condition with leaking from clogged gutters observed at exterior trim. The apparent lightning grounding wire with drops vertically from the roof to the ground below at the middle of this façade.

6.4 West Façade:

The oil tank fill line is located towards the north of this façade. A subsurface structure of some kind was observed close to the house at the north end that is partially filled and overgrown with vegetation. The nature of this structure/hole unknown at this time.

6.5 Garage:

The story and half garage structure has painted shiplap wood siding that is in need of repainting and some minor repair work. The vent at the roofs peak is damaged and should be repaired. One garage door was opened during our visit and no man doors exist into the structure. Small concrete aprons are located at each of the two ($\pm 8'-0'' \times 8'-0''$) garage doors.

7.0 MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION SYSTEMS

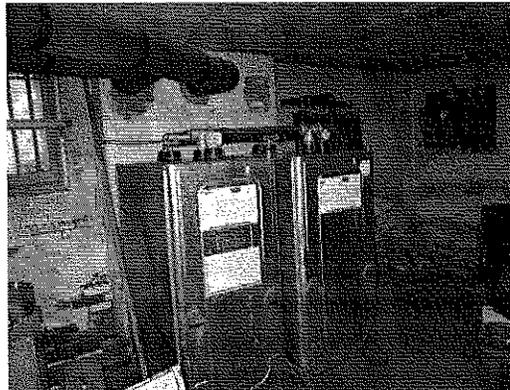
7.1 Mechanical Systems:

The main house is served by a 1 ¼ diameter gas line with PSE&G meter located inside the cellar on the east side of the building. The gas meter number is PS2908253. The gas is distributed to a nearby water heater also located in the cellar and stove/oven at the ground floor kitchen and stove located in the cellar below.

The building is heated by a ducted forced air unit is also located in the cellar on the west side of the building. Air distribution is provided by exposed ducts at the cellar ceiling and generally run vertically within the existing fire place flues with an air register at each fireplace opening to distribute heat. The unit is oil fired with two (2) above ground double wall with secondary

containment oil storage tanks in the cellar area adjacent to the furnace. The oil tanks are fed from an fill line that runs to the exterior on the west side of the house.

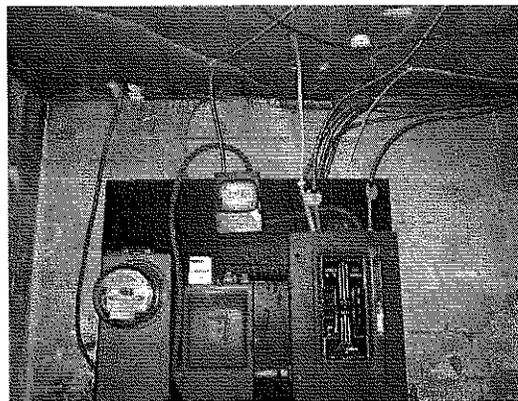
The furnace is Model Number 392E-048200, Series A, Serial Number LF 912383001, 200,000 BTU as manufactured by BDP Company (related to Carrier). The oil tanks are DWT Series Type 1000 I/H 275/200 as manufactured by Roth with Serial Numbers: 0850805313888 and 0810505312290. The oil tanks appear in good condition and reasonable new. The furnace appears older but in fair condition. We would recommend testing the furnace and entire heating system to verify that it is operating correctly and sufficiently heat the residence.



Oil storage tanks.

7.2 Electrical:

The building is provided with a 100 AMP service located in the north west corner of the cellar. The service is fed from a utility pole on the opposite side of East Passaic Street overhead to the residence and runs down the exterior of the residence to the cellar. The main panel is a 100 AMP, one phase, three wire 120-240 a.c., catalog number NBS310C as manufactured by Federal Noark. The PSE&G/General Electric meter number is 12711620886330. The electric service is inadequate for a structure of this size and is antiquated. We would recommend an upgrade and new service to be installed.



View at electric service.

It appears that many additions/modifications have been made to the distribution wiring in the residence. In many cases wiring is exposed (i.e. in closets on third floor, etc.) Several open junction boxes were observed in concealed areas that should be remedied.

Generally, electric convenience on that distribution about the residence does not meet current codes, standards and good practice. Along with the upgraded service new distribution for additional outlets should be considered along with a more detailed assessment of existing wiring at the residence.

Lighting is generally provided by hardwired ceiling mounted fixtures throughout. Through the years it appears existing fixtures were retrofitted to accommodate more current standards. Many of the original (or close to) chandeliers and sconces still exist and function. The chandelier in the northeast parlor (Parlor 1) is missing.

There is a security system panel located in the corridor between the kitchen and main stair hall. The extent and functionality of this system was not tested. Some alarms sensors were noted on windows about the house.

7.3 Plumbing

The building is served by a domestic water service that is located under the gas service entry on the east side of the cellar. There is an apparent well water pump located outside of the mudroom addition at the southeast corner of the main house. It is unclear if this is still functional or not. In the same room as the service and meter in the cellar, is a gas-fired 40 gallon water heater (Model number GOF90-4338, Serial number 9307115982, product number 0122091 as manufactured by Mor-Flo Industries Inc.). The water heater is marked and appears to have been installed in 1993 and may be reacting the end of its useful life, through no signs of failure were observed.

Water is distributed to the cellar washer, ground floor kitchen and bathroom, the second floor bathroom and third floor bathroom.

Some significant staining and rusting was observed on the main sanitary line in the cellar and vertical stacks on the second and third floors. Some shut off valves in the cellar have decay and build-up and should be replaced at some point. The main sanitary line exits the cellar subgrade out the east side of the building.



Rusting, staining and moisture at sanitary line.

7.4 Fire Protection Systems:

The building is not sprinklered. There are some smoke alarms located about the house. On the third floor devices appear to be interconnected and hard wired as the wiring runs exposed below the existing ceiling surface and through walls. This installation should be rewired to conceal wiring and recess devices to create a more visually pleasing and appropriate installation. The system was not tested during our visit.

8.0 CONCLUSION AND RECOMMENDATIONS:

The condition of the building and property is commensurate with a residence of its age and in many ways the house's original details are in good shape and have been preserved better than anticipated. The structure of the house and accessory structures on site are sound. The facades are in need of some restoration and refurbishment and painting. The questionable cementitious siding should be tested and removed if the desire is to restore the building to its historically accurate condition. The roof and related flashings, gutter and leader system and many of the soffits will need to be replaced and made weather tight. This should be the most urgent of the repairs to be done to provide a dry interior and to stop any ongoing water damage. The electric service and distribution is inadequate for this building to fully function to today's standards and codes and consideration should be given to replacing and upgrading the service, distribution and additional outlets, etc. The mechanical systems appear to be adequate, but should be tested to verify they are functioning and properly heat the building.

The interiors are in need of refurbishment and refinishing including repairs of many cosmetic plaster cracking and damage. Most paint and wall paper finishes are peeling and/or damaged. The third floor ceiling should be nearly replaced in its entirety due to very significant water damage from roof leaks. The site requires some maintenance of overgrown landscape areas and repairs of concrete and masonry walks and stone rubble piers. The site ingress and egress are somewhat unsafe due to overgrown plants and trees and proximity to the Route 17 South access ramp.

There are a number of items which may not require immediate attention, but you should be aware of. These items along with the more urgent deficiencies are listed in "*Section 1.0: Executive Summary*" of this report.

NOTE: During a visual review of the premises, we are not expected to operate or dismantle any equipment, to remove any covers or to perform any tests.

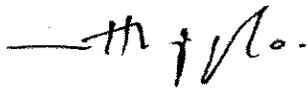
This report is a visual observation of apparent conditions and is to be used as a guide only. It is not to be construed as a warranty or guaranty of the building and equipment and its fitness for use. Furthermore, no responsibility is assumed with regard to the premises being in compliance with any and all codes and regulations of all governing authorities. Operating condition of mechanical, electrical and piping installations has not been reviewed.

This report does not include a survey or assessment of the building or site for the presence of asbestos or asbestos-containing materials, pollution, hazardous or toxic wastes. Adequacy of drainage on this property is not known. No warranties or representations are made by the undersigned that a complete inspection of the property has been made, nor that all deficiencies in

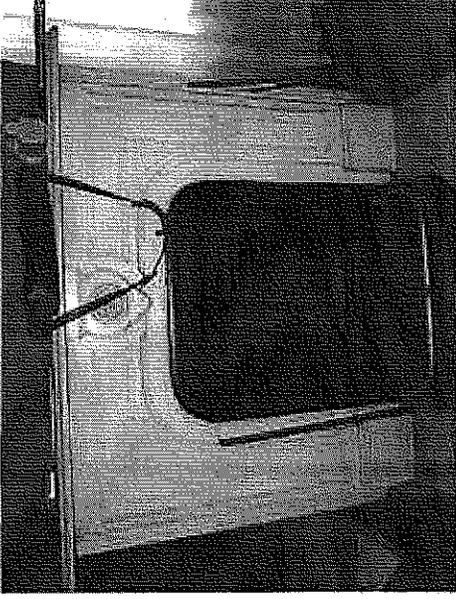
the construction, maintenance or operation have been noted. Lastly, approximate areas listed should not be relied upon as measured areas in accordance with BOMA standards.

If you have any questions regarding this report, please feel free to contact our office.

Very truly yours

A handwritten signature in black ink, appearing to read "M. J. Spagnolo". The signature is written in a cursive style with a horizontal line extending to the left of the first letter.

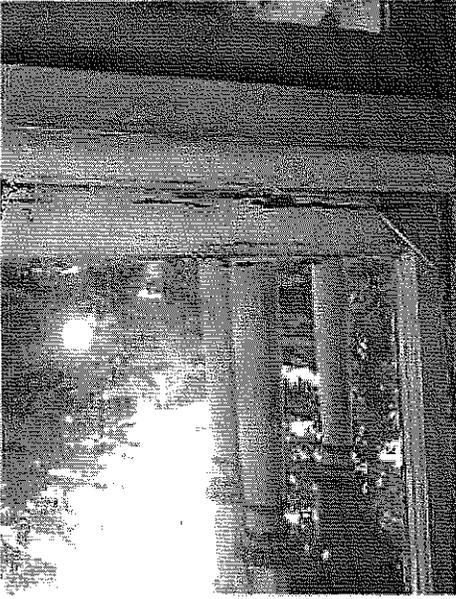
Matthew J. Spagnolo, A.I.A., LEED AP, BD + C
Bilow Garrett Group
Architects and Planners, P.C.



FIREPLACE & PICTURE 5/10/81



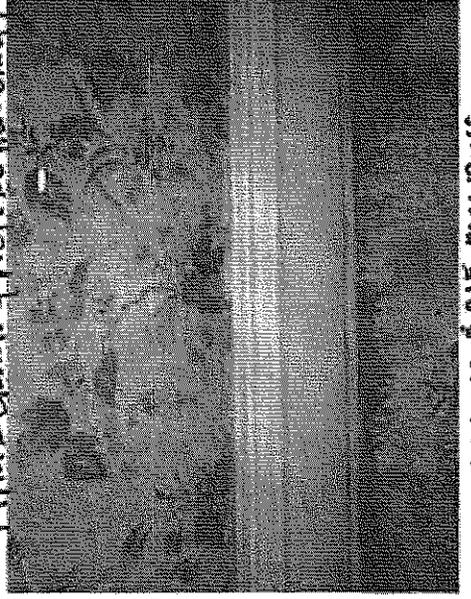
TYPICAL GARAGE WINDOW



CLOSED WINDOW & GARAGE



TYPICAL CROWN & PICTURE MOLDING



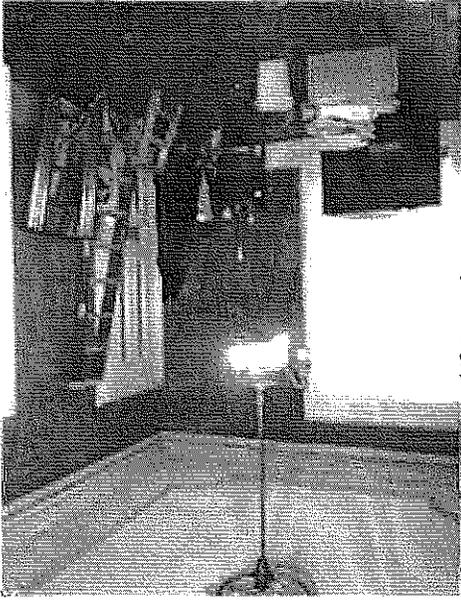
TYPICAL BASE MOLDING



TYP. DOOR & GARDEN



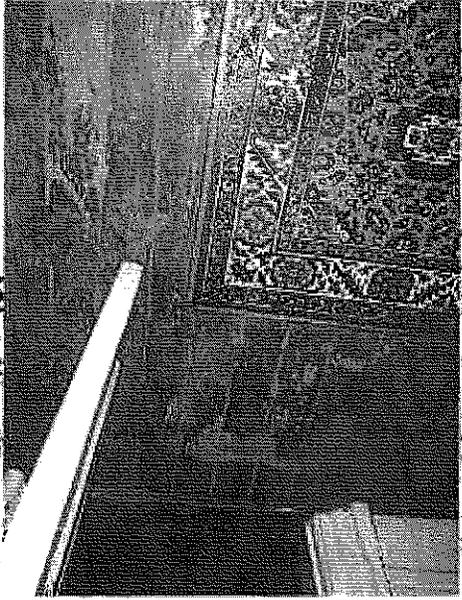
PANATED CLING @ PARLOR 4/10/81



DINING RM - 4RD FL.



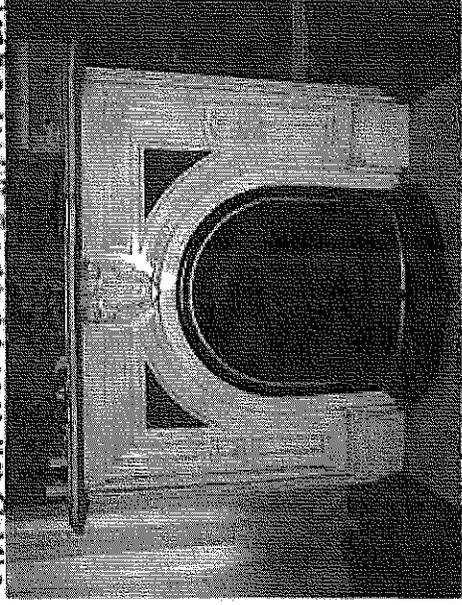
VIEW OF DINING RM WINDOW TOWARD...



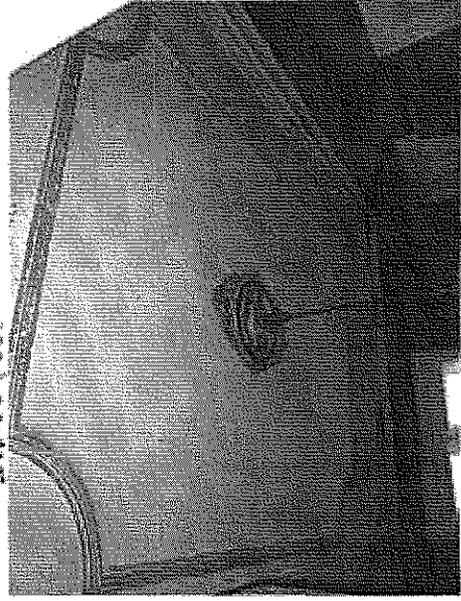
PLACE DINNER & DINING ROOM - 4RD FL.



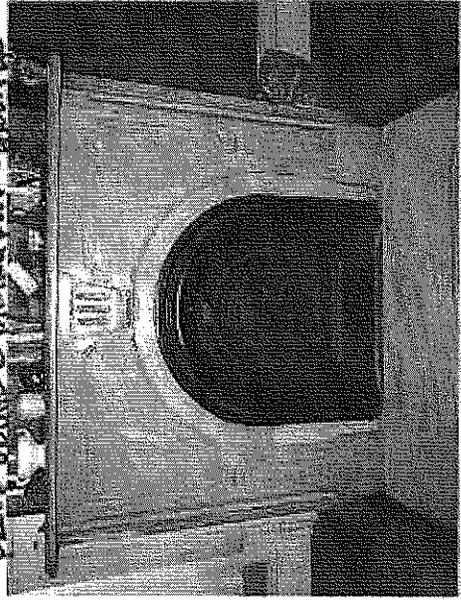
VIEW OF DINING RM'S & HALLWAY & HALLWAY'S CORNER



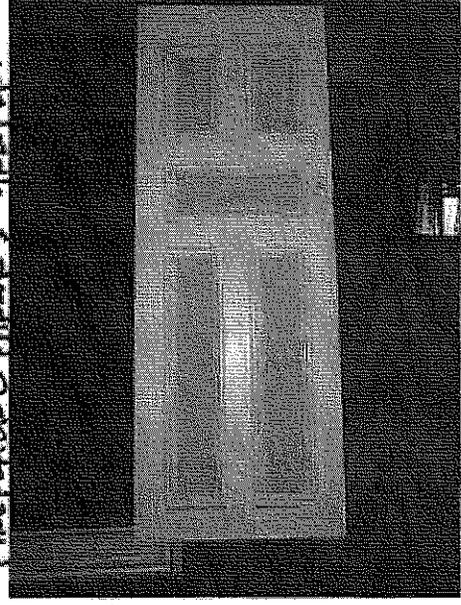
FIREPLACE & PARTIALS - 4RD FL.



CHINA & DINING ROOM - 4RD FL.



FIREPLACE & DINING ROOM - 4RD FL.



TYP. DINNER & GRM. RM.



WALL HOLE & PATCH 1 - 4700 BA.



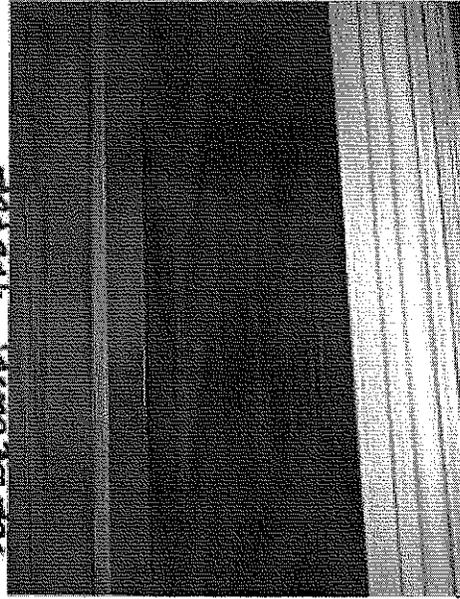
CROWN MOLDING / CORNER PIECE - 4700 BA. 1 - 4700 BA.



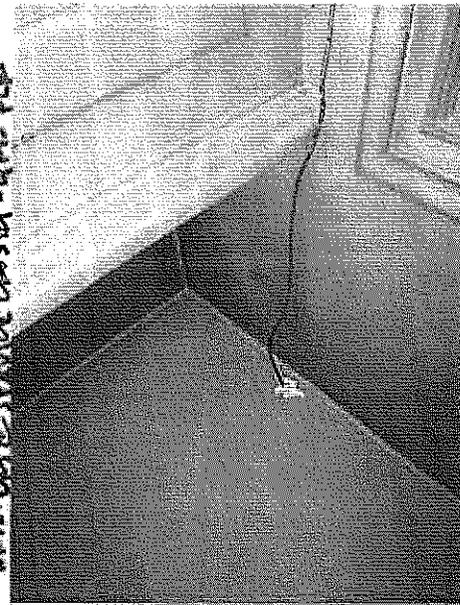
DOOR JAMB DETAIL - 4700 BA. 1 - 4700 BA.



SERVICE CLOSET - 4700 BA.



DOORWAY & SPACE CHAIR - 4700 BA.



DOORWAY TELEPHONE WIRING - 4700 BA.

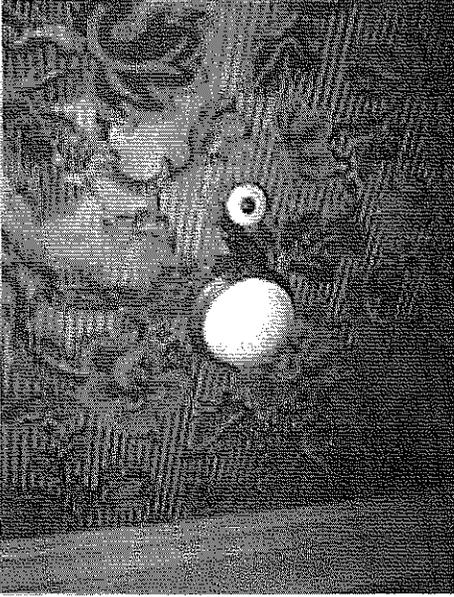




VIEW THROUGH PASSAGE FROM VILLAGE



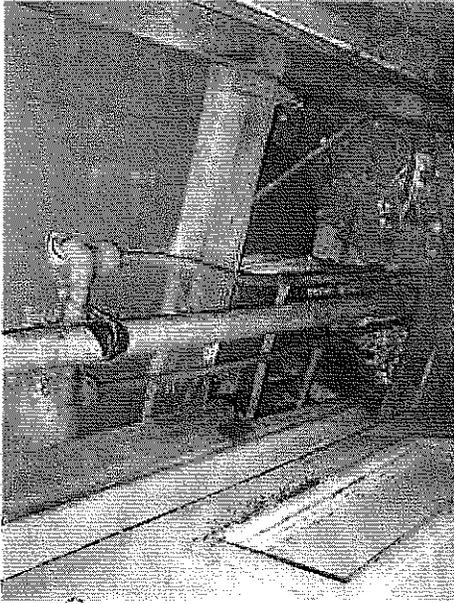
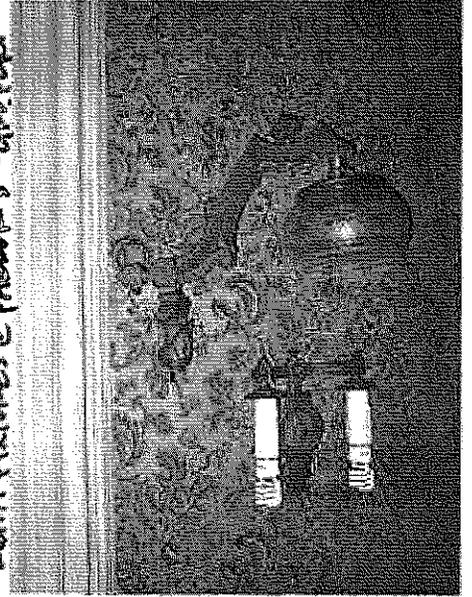
CLASS FURNITURE - STUDENT



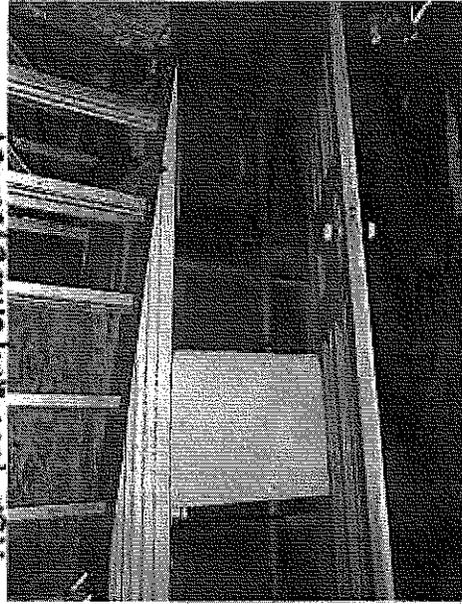
SCHEMATIC CASE BEHIND VILLAGE



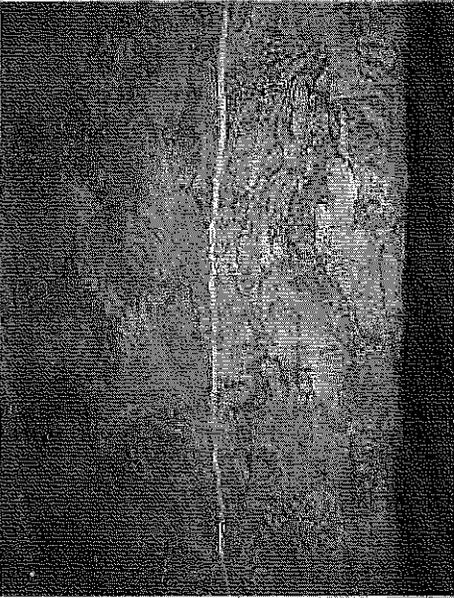
LIGHT FIXTURES & PANELS - GROUP



VIEW FROM STUDENT CASE



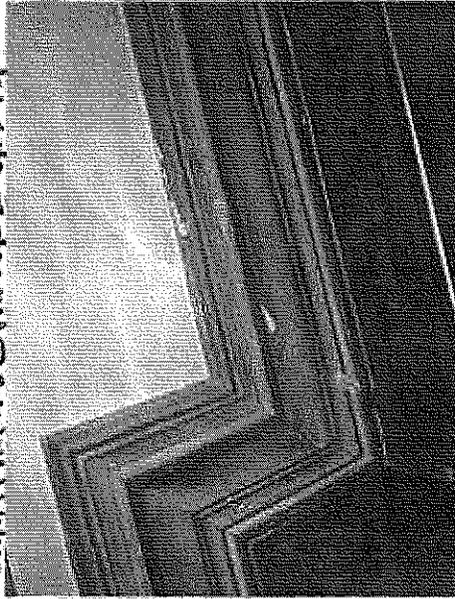
TR. CASE - MOUNTING DETAIL



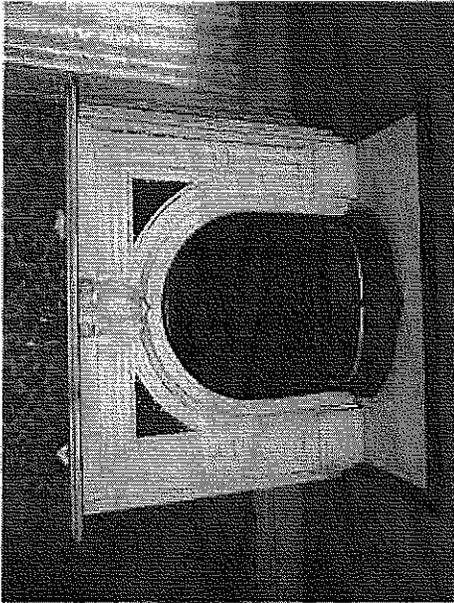
PLASTER CRACKS & FINISH IN DINING ROOM.



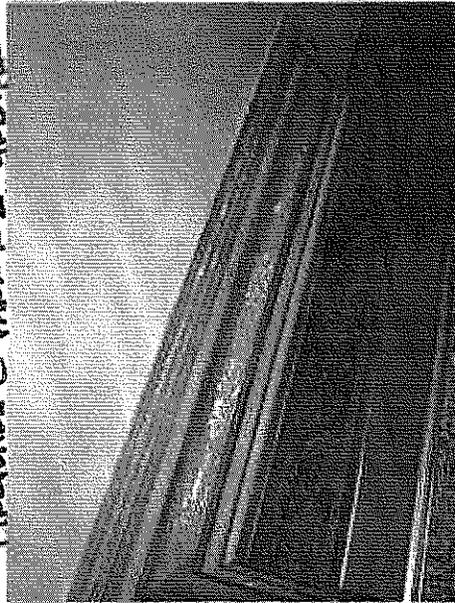
LIGHT FIXTURE & PANEL 2 - GOOD PH.



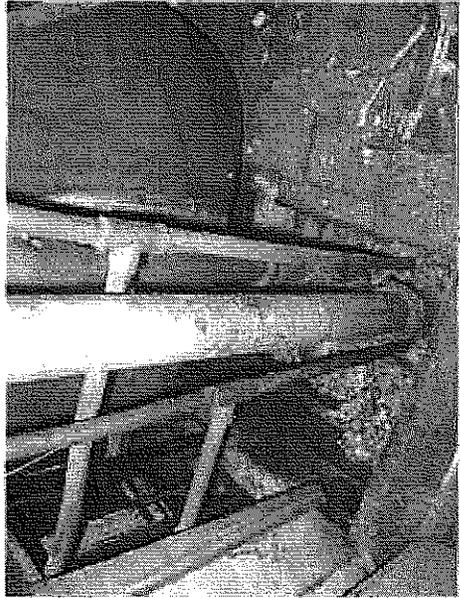
CRACK MULDING & PANEL 2



FIREPLACE & PANEL 2 - GOOD PH.



CRACK MULDING & PANEL 2 - GOOD PH.



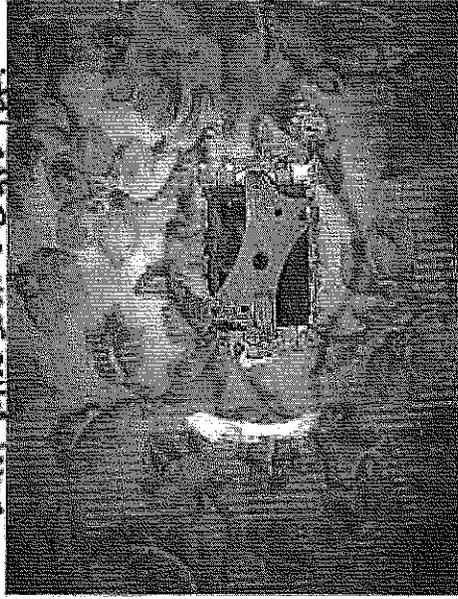
PLUMBING ABOVE / COVER



DAMAGED WITH PAPER PANEL 2



EXIST. WALL SOURCE C-400 FLE.



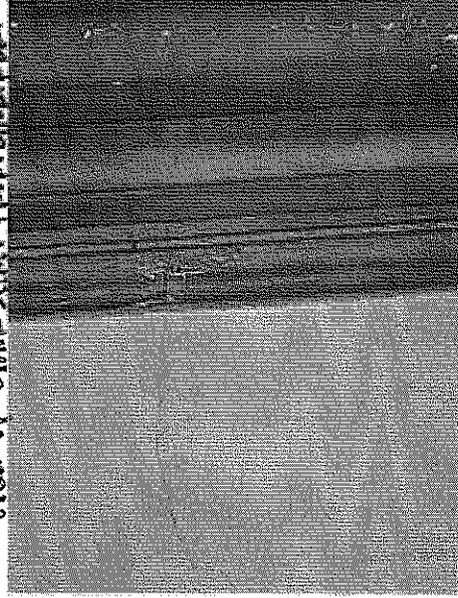
OPEN ELECTRIC BOX - 400 FLE.



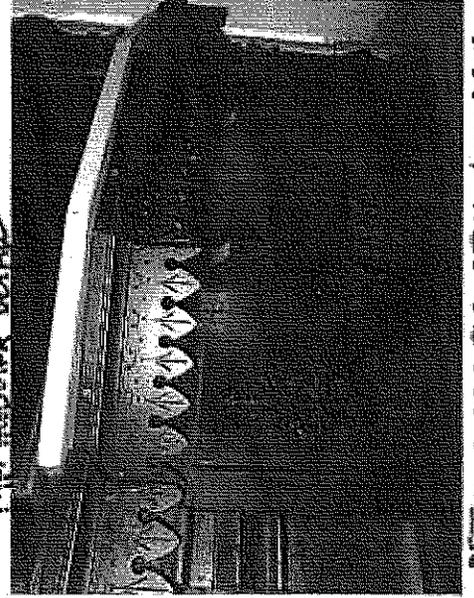
DETAIL C-400 FLE. WINDOW LATCH



VIEW UP STAIR STAIR FROM 400 FLE.



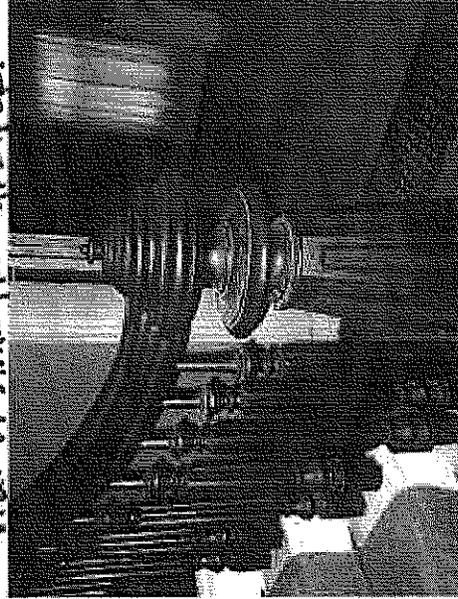
TOP. HANDBIK DETAIL



DETAIL C-400 FLE. STAIR 1 MIRROR



VIEW UP STAIR FROM 400 FLE.



DETAIL C-400 FLE. STAIR



DETAIL C-400 FLE. STAIR



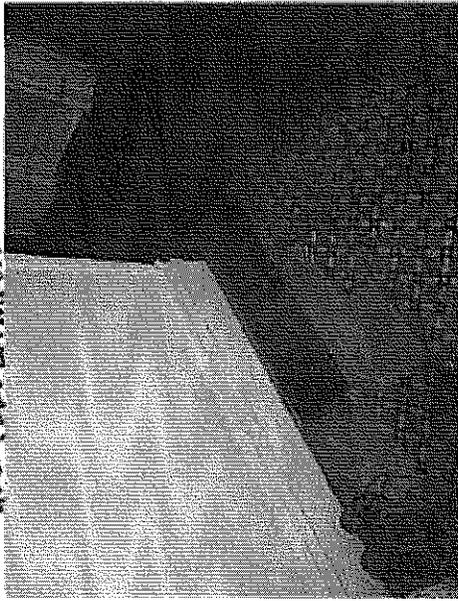
1ST. FLR. BATHROOM



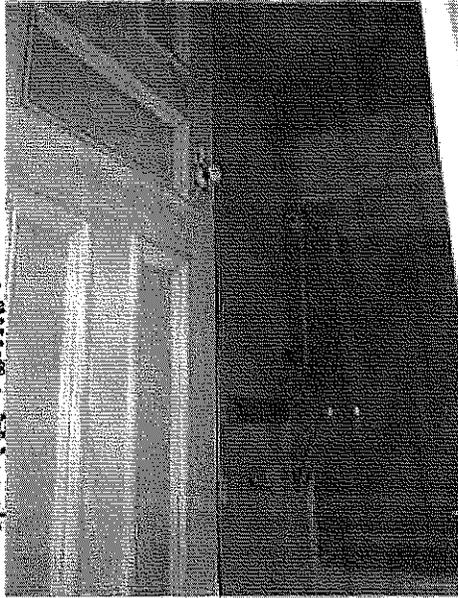
1ST. FLR. BATHROOM



1ST. BASE MOLDING & LIGHT SW.



SCENE & SINK HOW 1ST FLR.



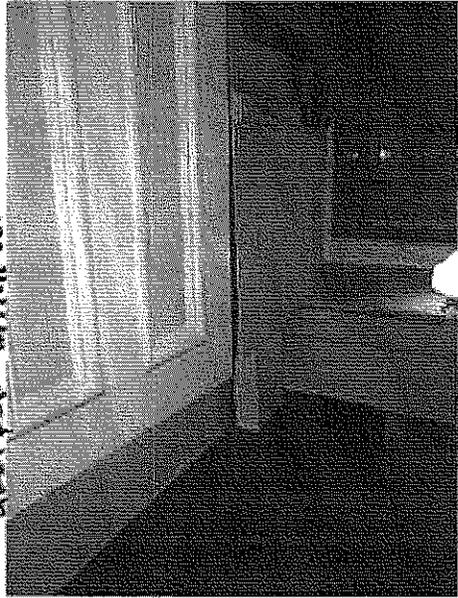
1ST. FLR. BATHROOM



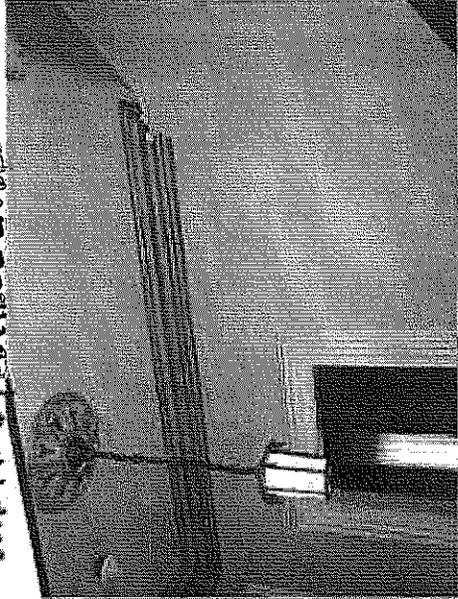
DOOR HINGE / BOX HOLE COVER



HALLWAY 1ST. FLR. & 1ST. FLR. BATHROOM



1ST. FLR. BATHROOM



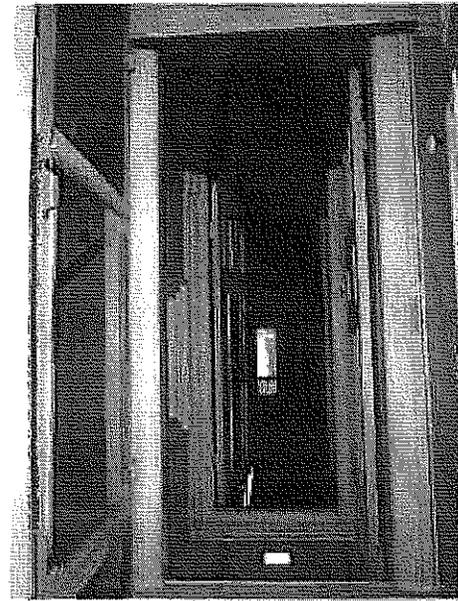
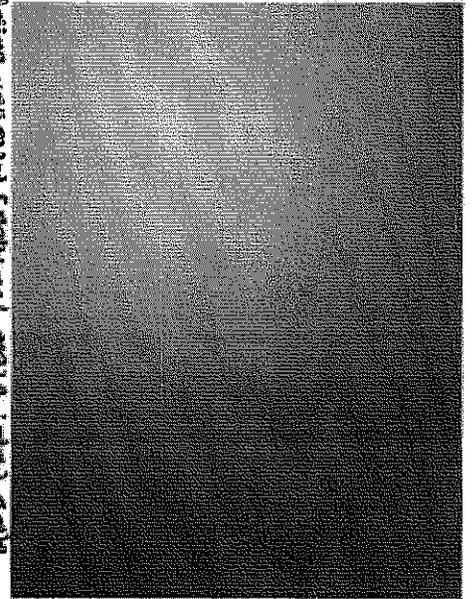
1ST. FLR. BATHROOM & 1ST. FLR. HALL



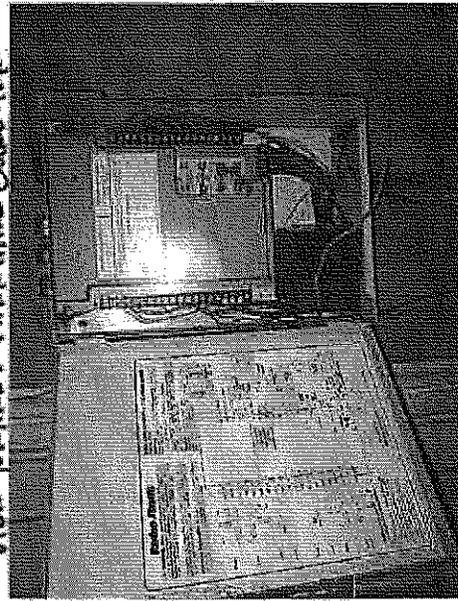
ASSIETE PUMEN A TEA



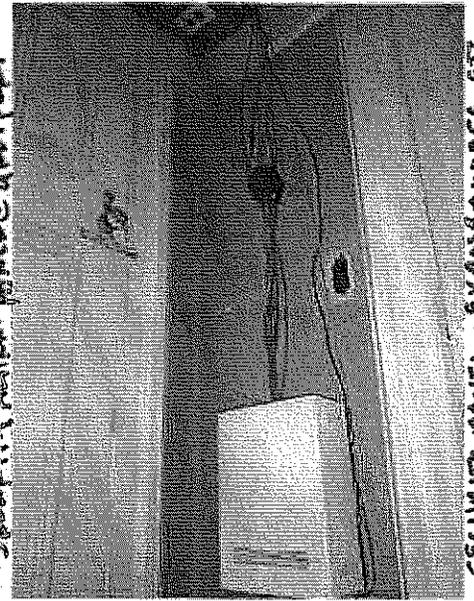
AND PLG. VIEW TOWARDS KITCHEN WITH



VIEW TOWARDS STAIR HALL AND PLG.



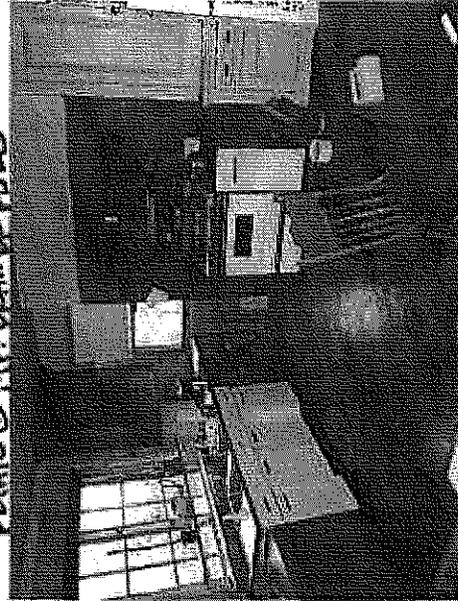
SECURITY PANEL - EXPOSED WIRES, ETC.



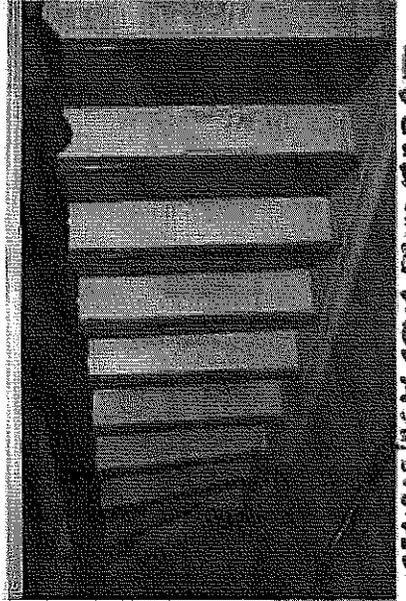
SECURITY PANEL - EXPOSED WIRES, ETC.



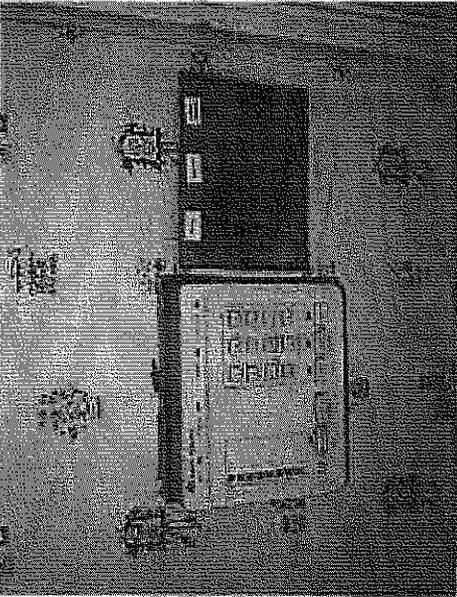
PANEL @ THE DOORWAY PULL



AND. PHOTO KITCHEN.



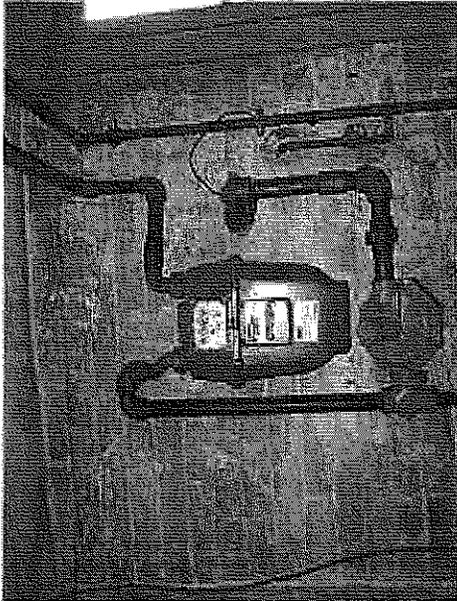
SECURITY PANEL - STAIR FROM AND PLG. TO 2ND FLOOR



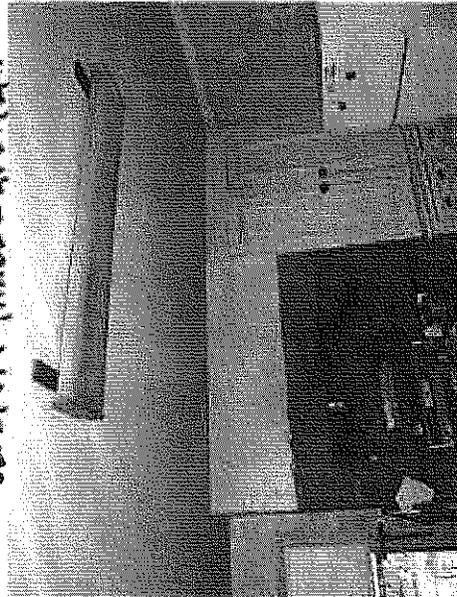
SECURITY PANEL & APT. FLR.



VIEW WINDOW & CELLAR



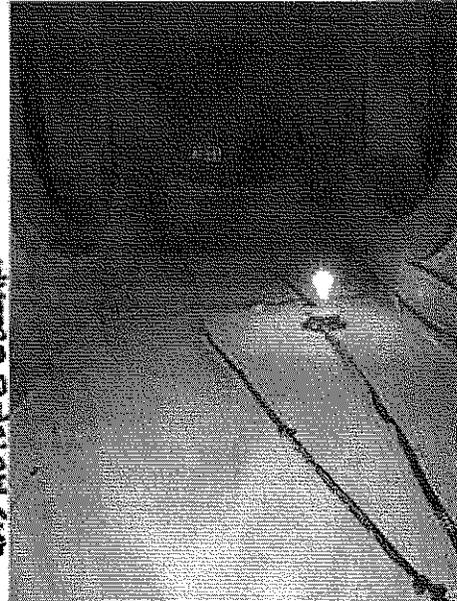
GAS METER & CELLAR



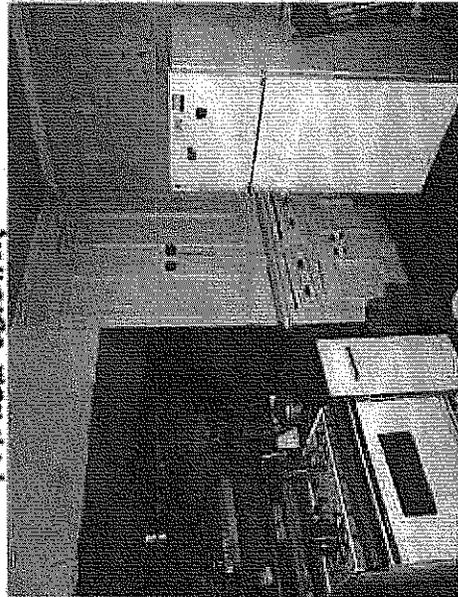
KITCHEN CEILING



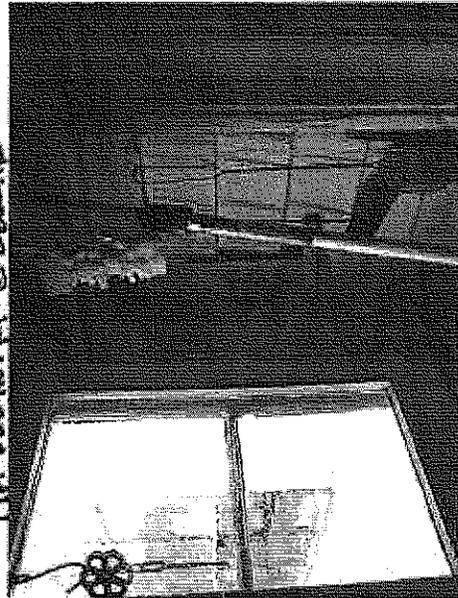
VIEW UTILITY & CELLAR



CELLAR HALL



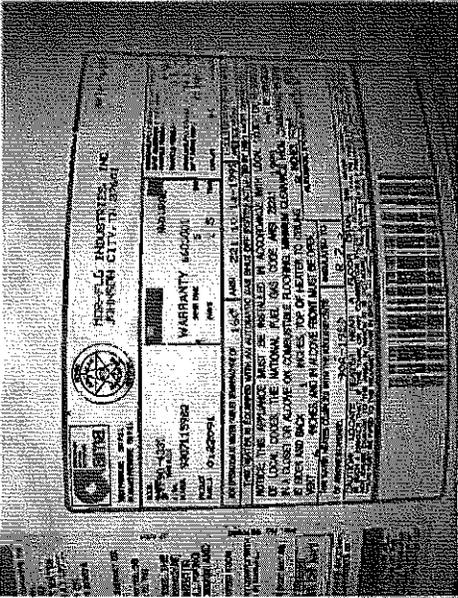
VIEW APT. FLR. KITCHEN



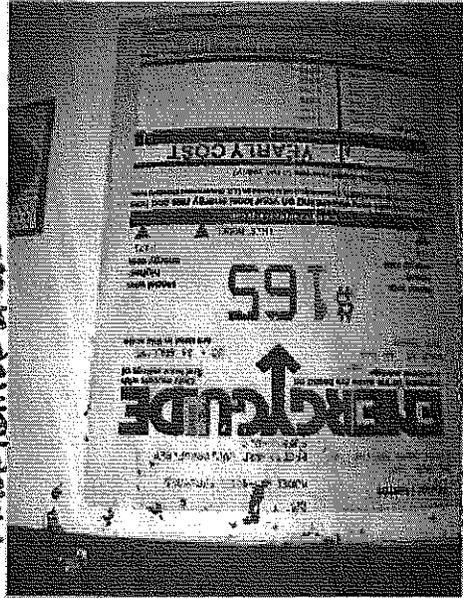
VIEW & MUDROOM



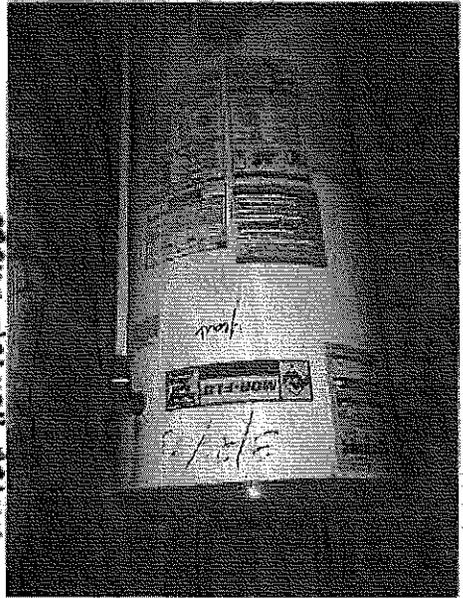
EXPOSED CASING & CELLAR



WATER HEATER LABEL



WATER HEATER LABEL



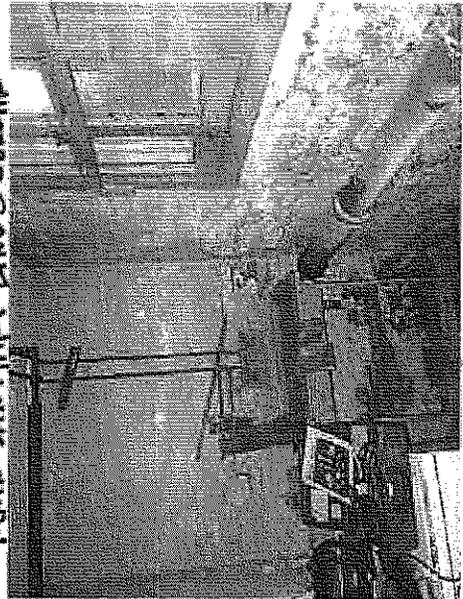
6755 FIBER WATER HEATER - CELLAR



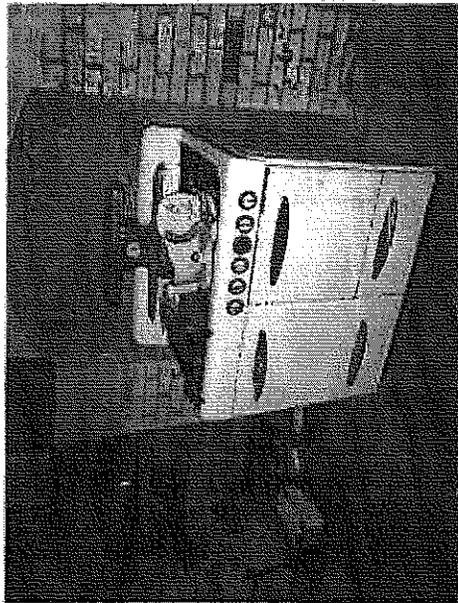
LEAKING/STAINING @ MAIN SUPPLY LINE



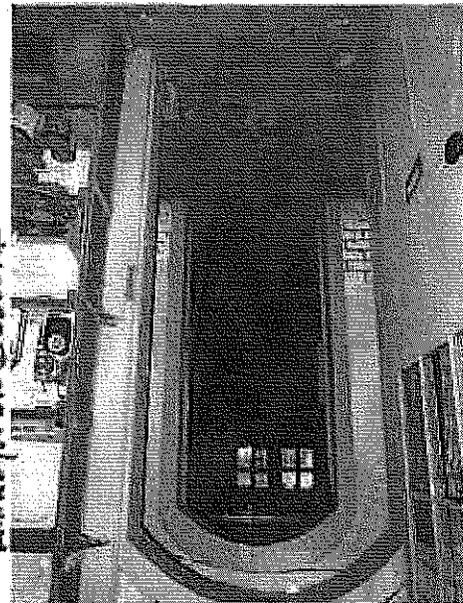
MAIN SUPPLY LINE @ CELLAR



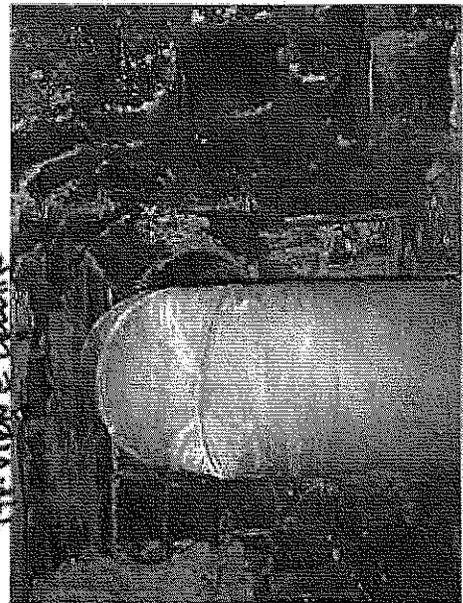
SANITARY LINE @ SINK & CELLAR



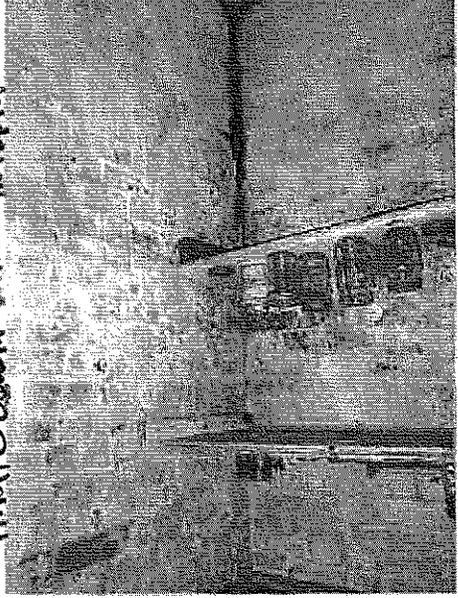
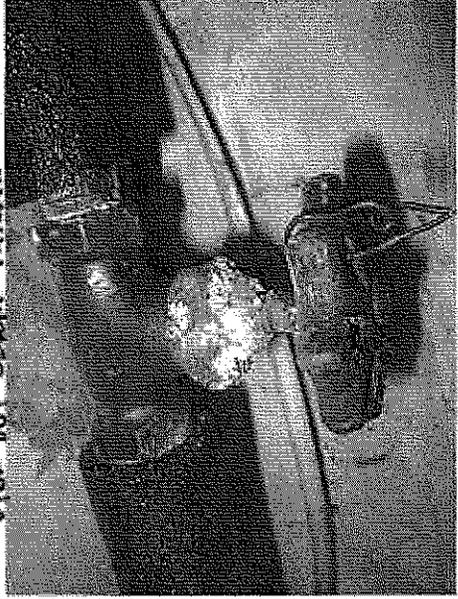
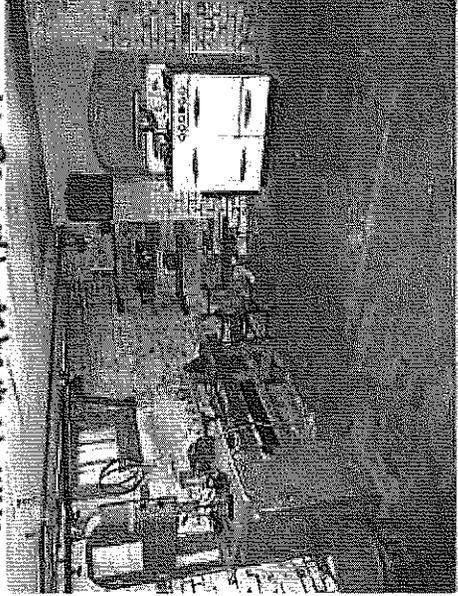
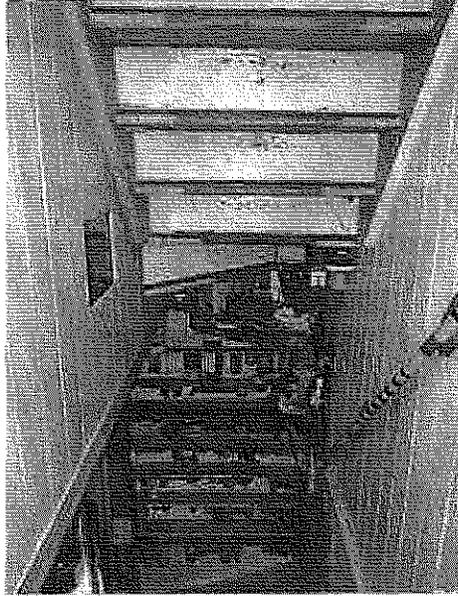
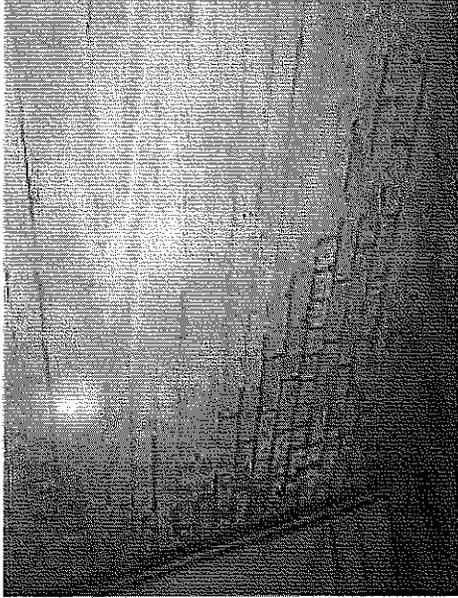
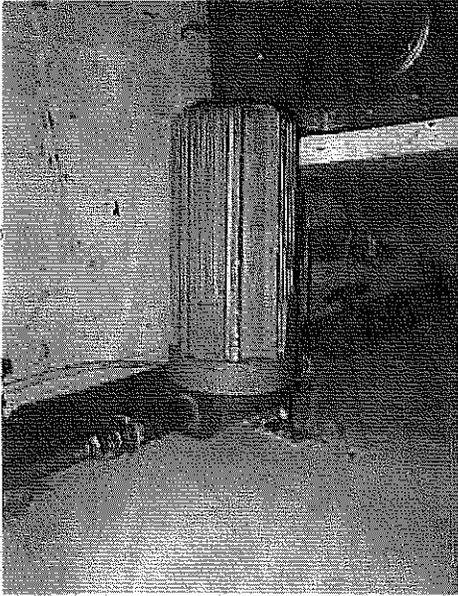
LAKE / OPEN @ CELLAR



THE VIEW @ CELLAR



VIEW W/ CHIMNEY @ CELLAR



INTERIOR CELLAR & MIL-NEKO PAINTING

VIEW OF CELLAR W/INT - INTERIOR

WATER DAMAGE & CELLAR WALL

CELLAR - WINDOW, W/INT - CELLAR

VIEW OUT CELLAR - WINDOW

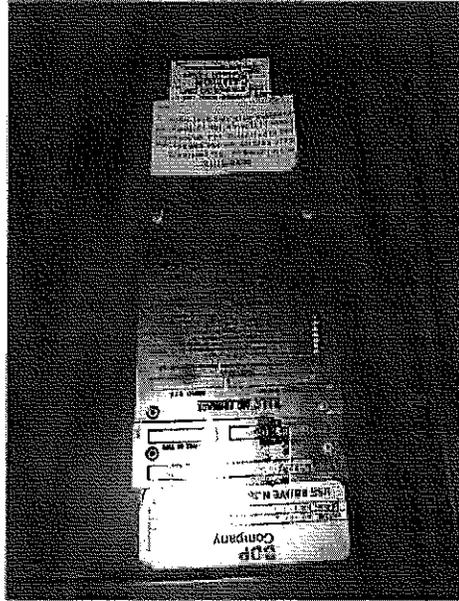
DAMAGED VALVE & CELLAR

START TO GRIP - FROM CELLAR

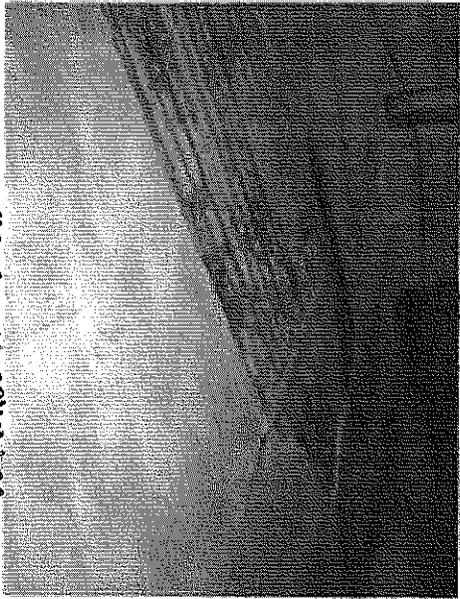
CELLAR BELOW KITCHEN



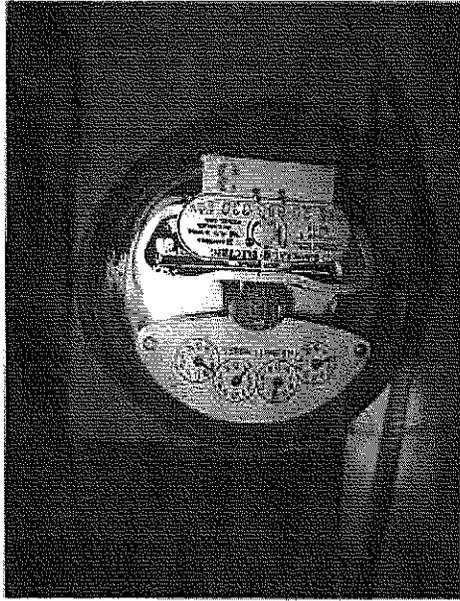
FURNITURE IN ROOM



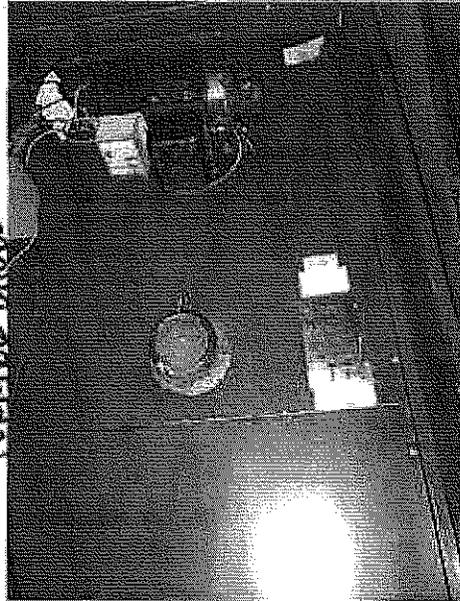
FURNITURE



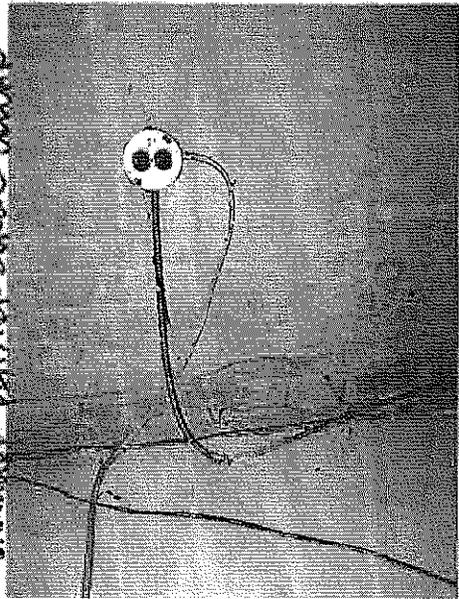
DAMAGED PLASTER ABOVE CORNER



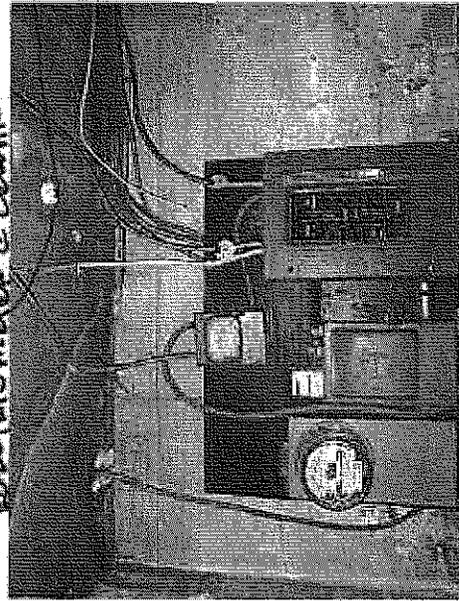
ELECTRIC METER & CEMENT



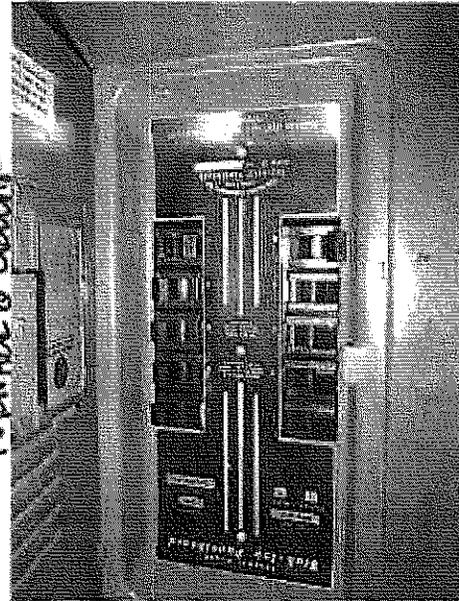
FURNITURE & CORNER



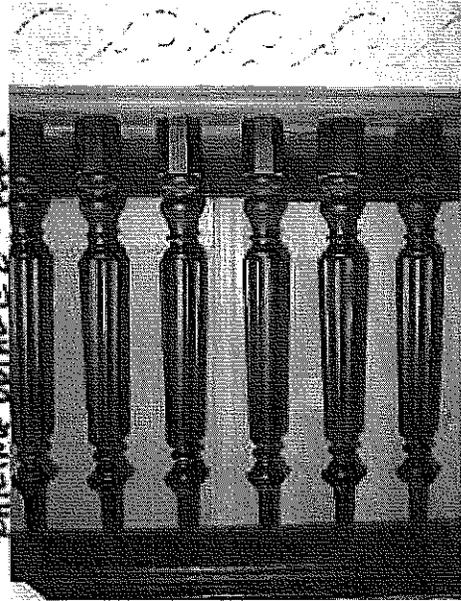
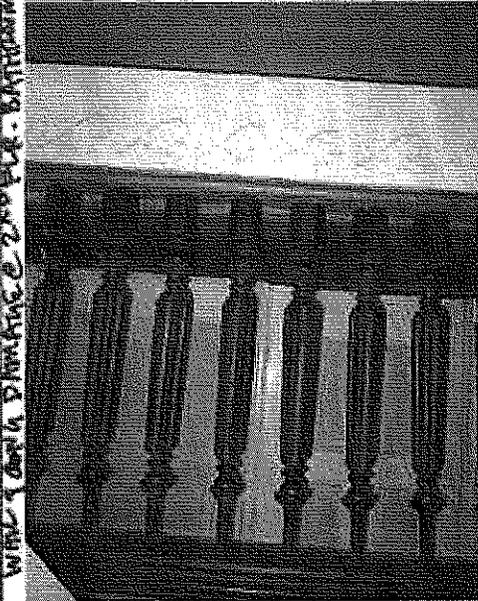
505 BRINE MTD. DUTIES & CABLING



ELECTRIC SERVICE & CEMENT

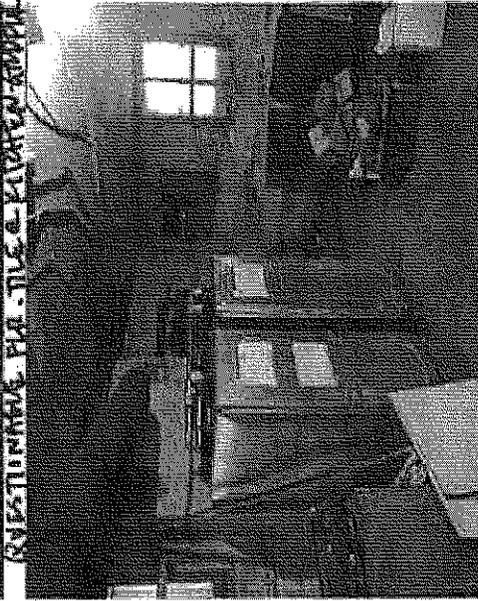


ELECTRIC PANEL & CEMENT



WALL & DOOR FRAME - 2ND FL - BATHROOM

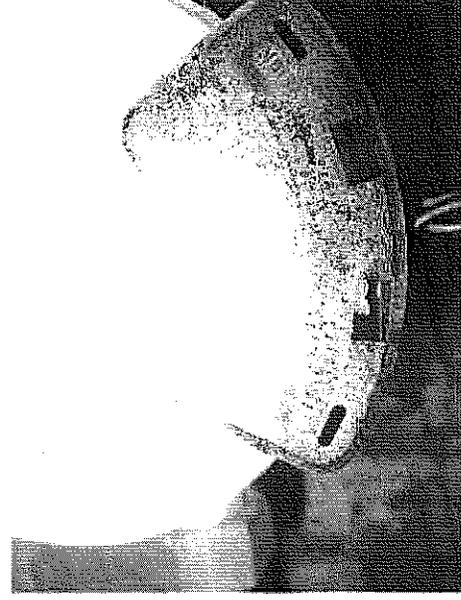
RAILING DETAIL - 2ND FL



RESTROOM - TILE - PARTIAL - 2ND FL

WALL HOLE - 2ND FL

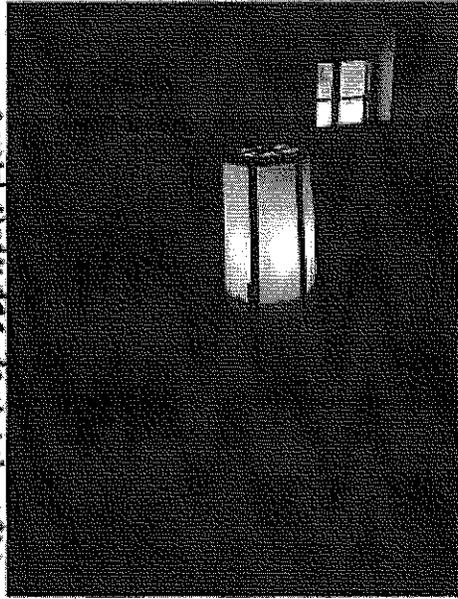
WATER METER - 2ND FL



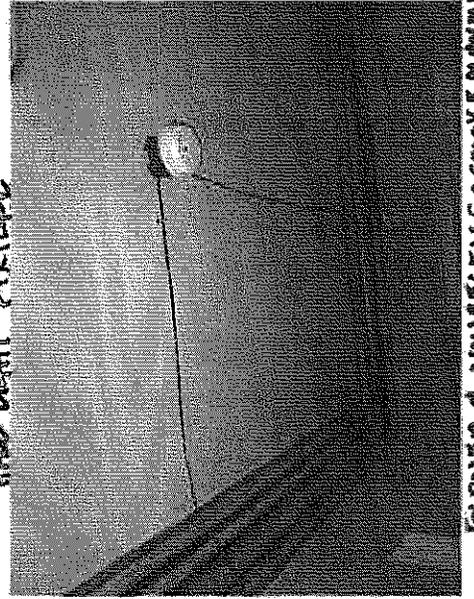
WATER METER - 2ND FL



VIEW TOWARDS SEPARATE ROOMS



HALL LIGHT FIXTURE



EXPOSED NON-BELESS ED SMOKE ALARMS
-2ND FL.



FLOORING c. BF-3 - 2ND FL.



BF-3 - 2ND FL.

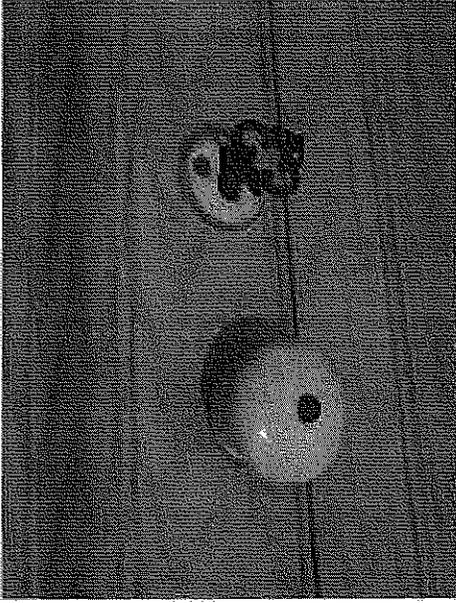


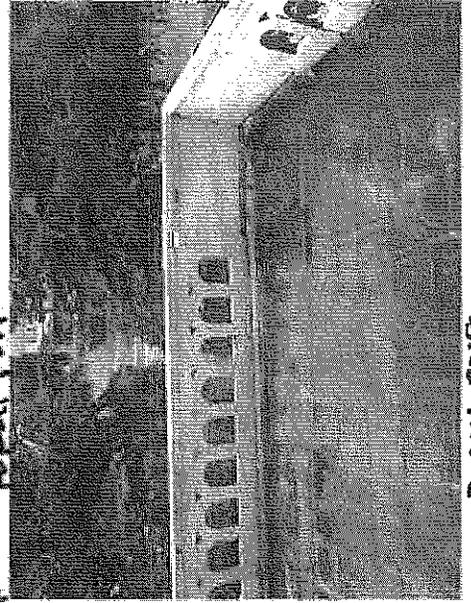
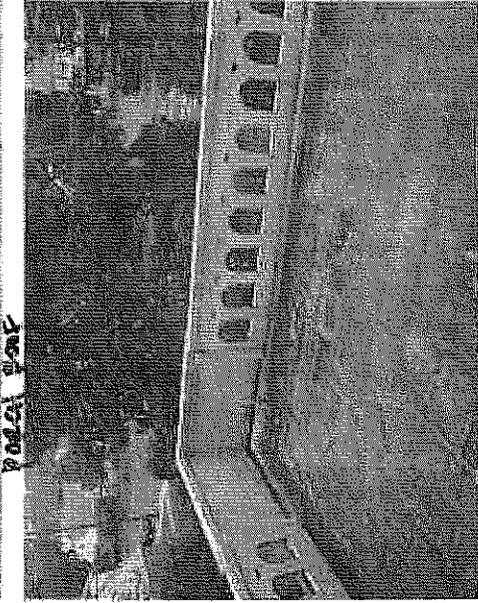
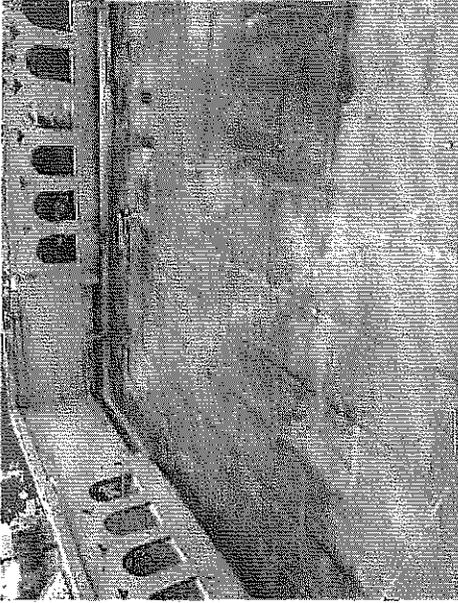
PHOTO KEY BEING CLOSET



CLOSET - 2ND FL.



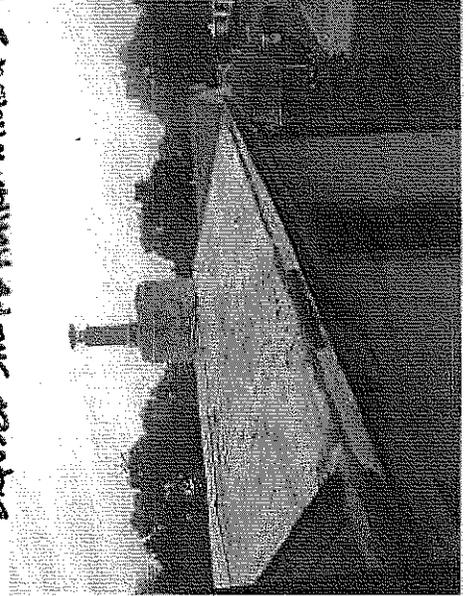
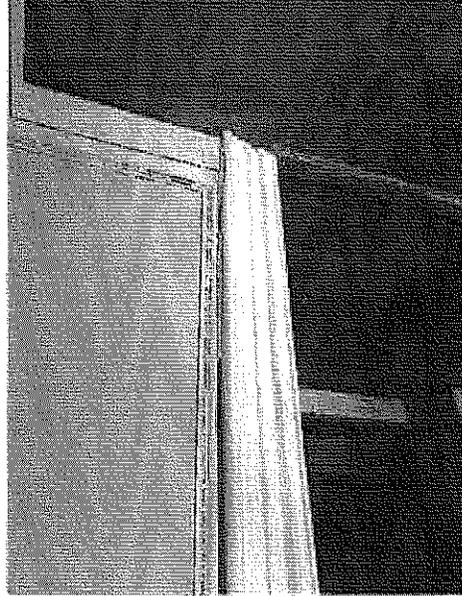
EXPOSED WIRING CLOSET - 2ND FL.



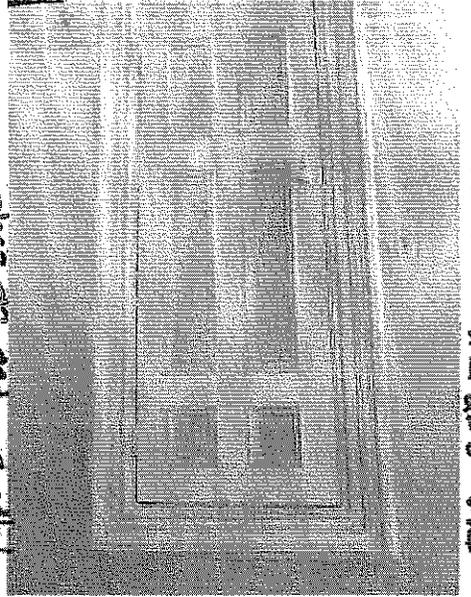
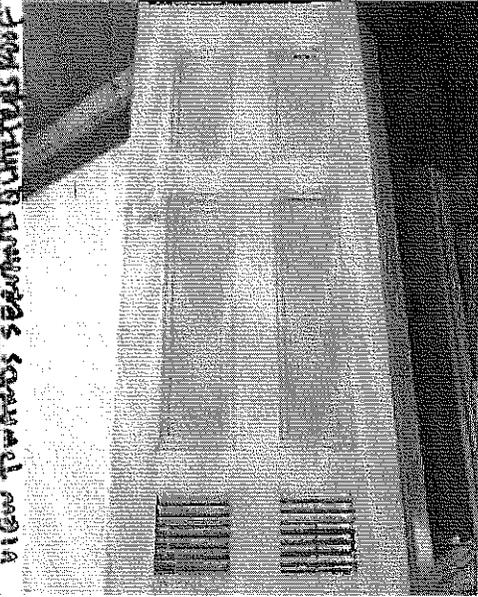
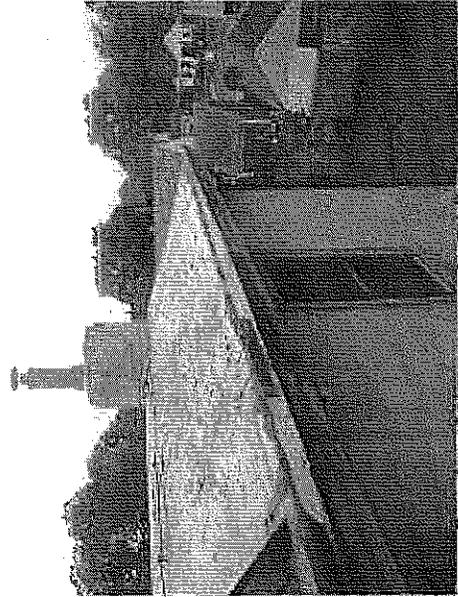
POCKET ROOF

POCKET ROOF

POCKET ROOF



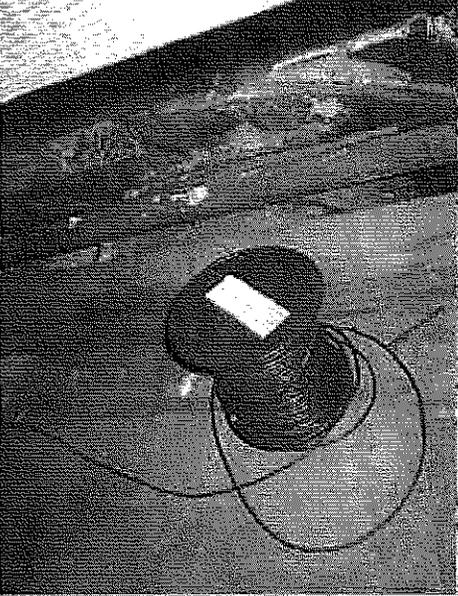
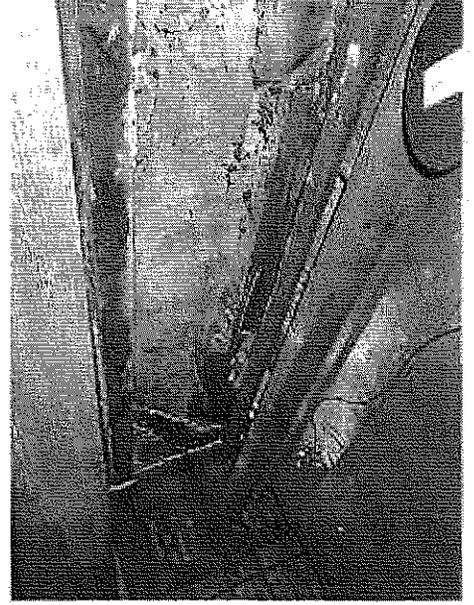
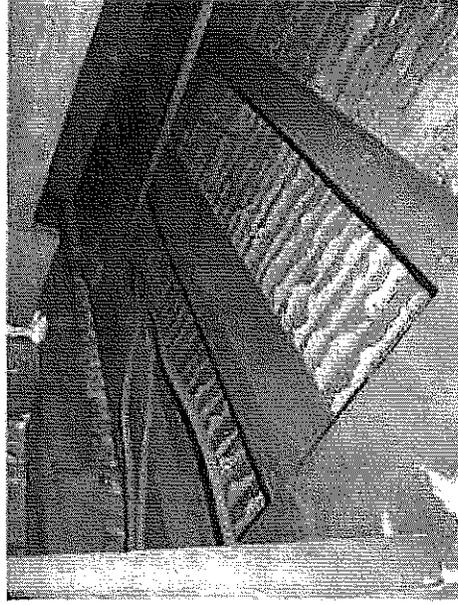
EXPOSED STUDS AND RAFTERS UNDER ZIP



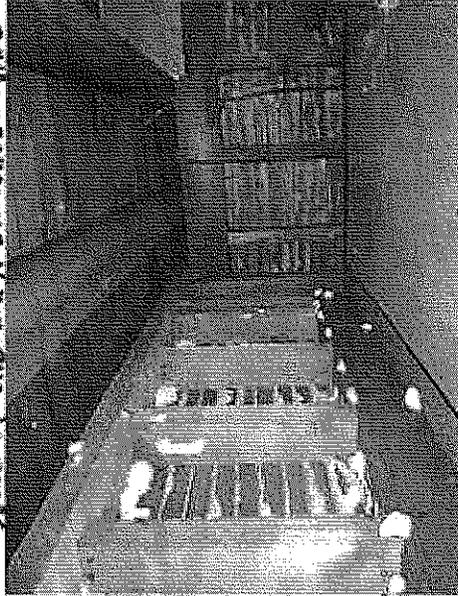
VIEWS TOWARDS SEVERAL QUARTERS ROOF

TRP. 2ND FLOOR BR. DR. -

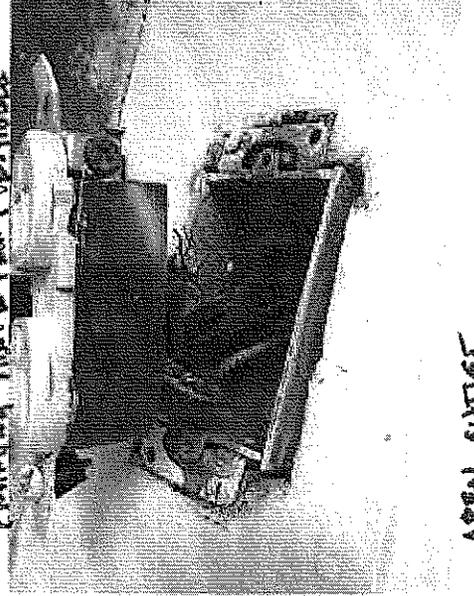
TRP. 2ND FLOOR - CHASET DOOR



SPOOL OF WIRE IN CONCRETE SPACE



FRAMING ABOVE FROM VESTIBULE

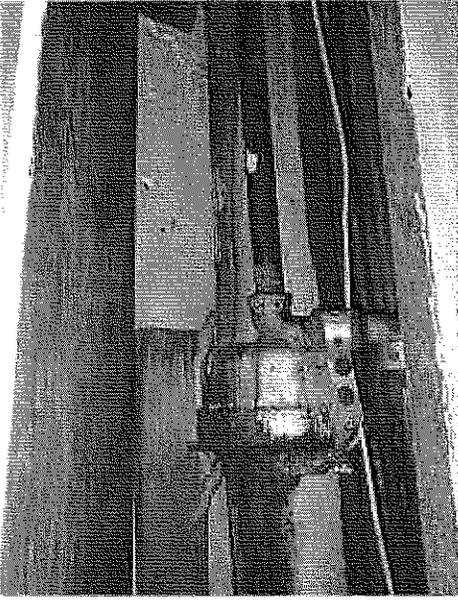


OPEN OUTLET

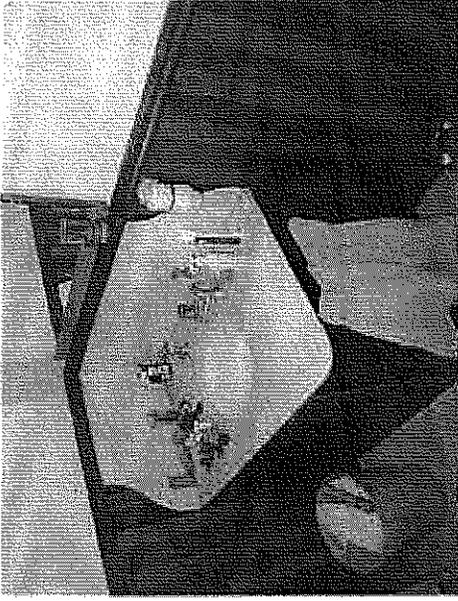
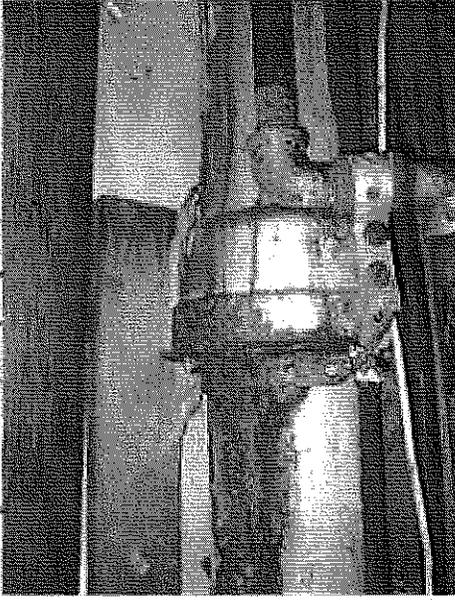


OPEN ELECTRICAL BOX - CONCRETE IN PROMPT

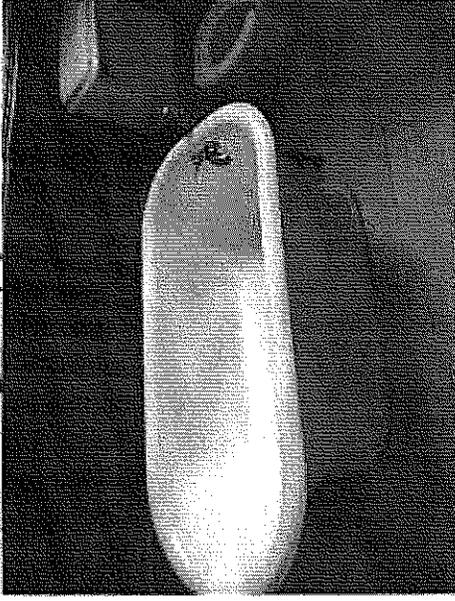




FASTENED SANITARY MS&P 2ND FLOOR



BATHROOM 2ND FLOOR



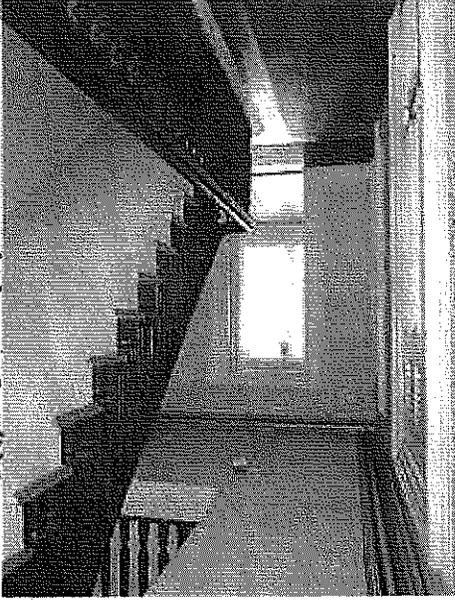
TUB 2ND FLOOR BATHROOM



BATHROOM 2ND FLOOR



STAIRS 2ND FLOOR



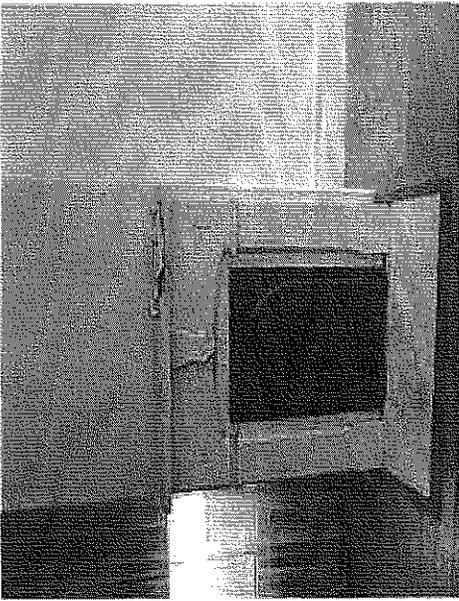
STAIR HALL 2ND FLOOR



FAUCET DETAIL



WALL/CILING DAMAGE 2ND FLOOR BATH



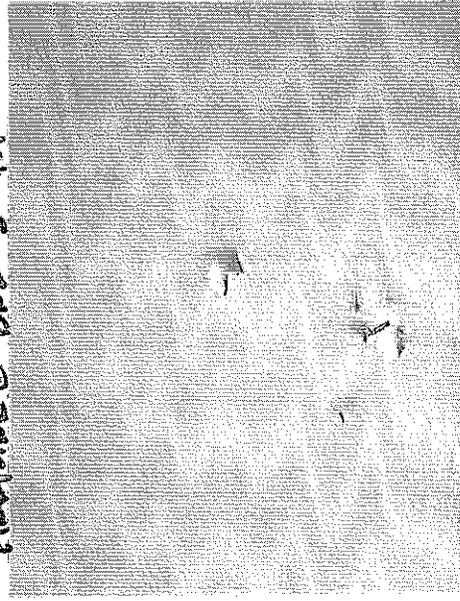
FIREPLACE C BR 2 2ND FLD



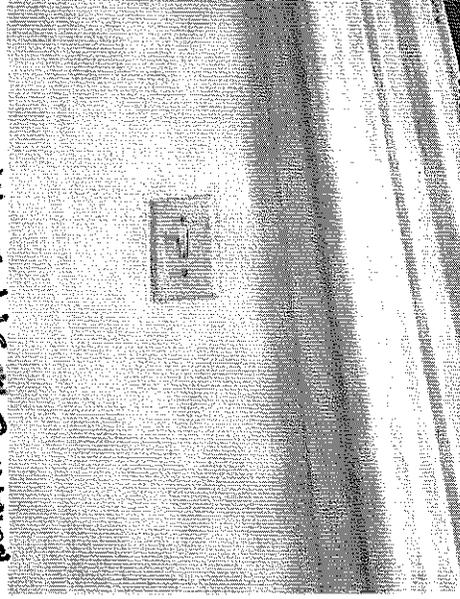
BUILT IN C M 314 2ND FLD



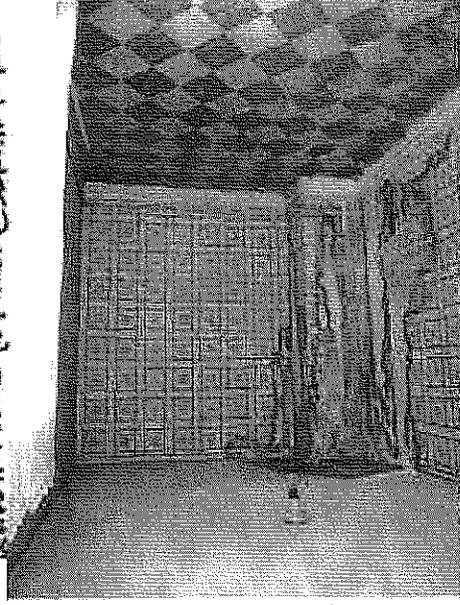
QUESTIONS RE TILE SEPARATION



PEELING PAINT



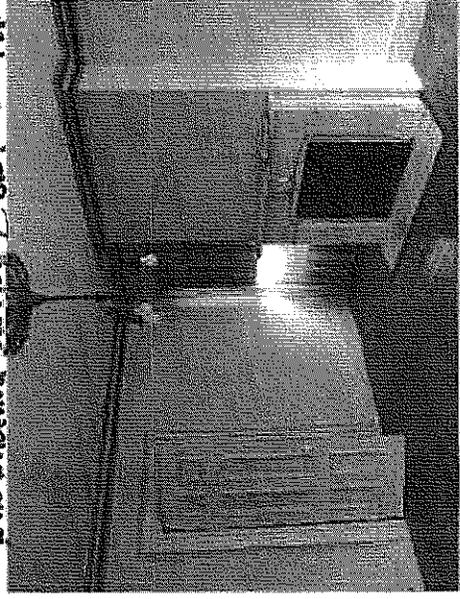
WIN MAKING SUSTAIN C BR 2 2ND FLD



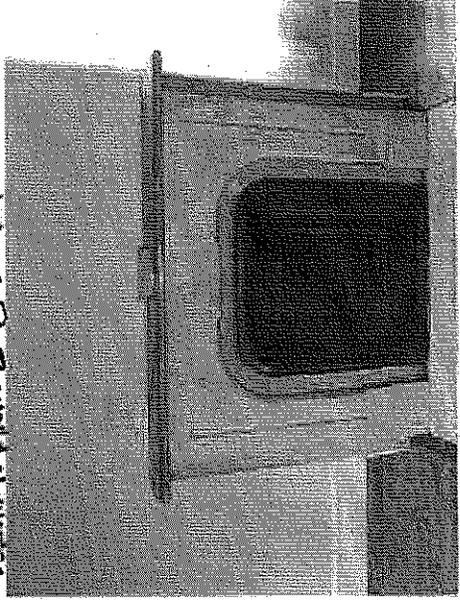
SEPARATION FROM C 2ND FLD



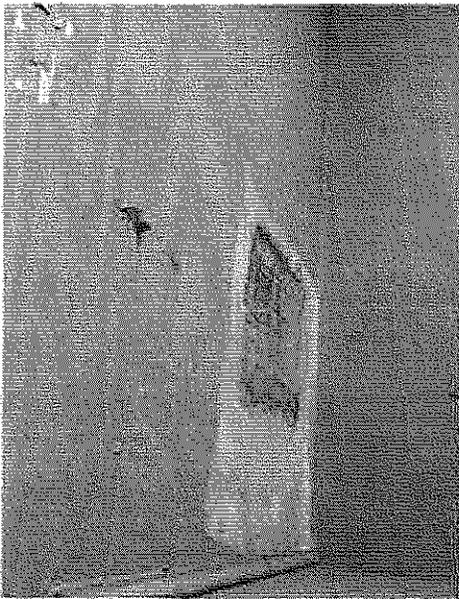
FIRE W/ POTENTIAL LEAK & STAINING



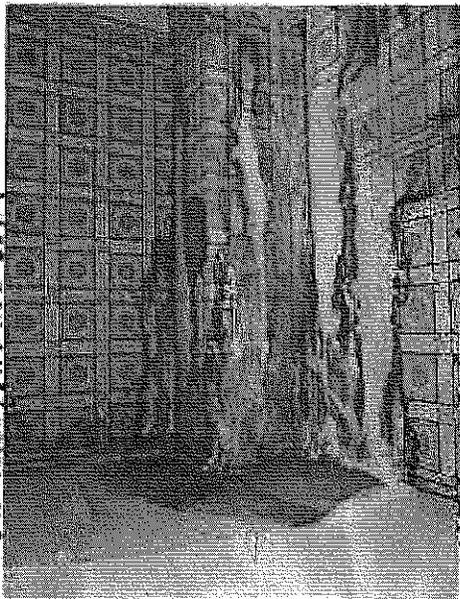
FIREPLACE C BR 2 2ND FLD



FIREPLACE C BR 1 - DAMAGED KEYSTONE
PLAQUE



DEKORACIJA / KUHINJA



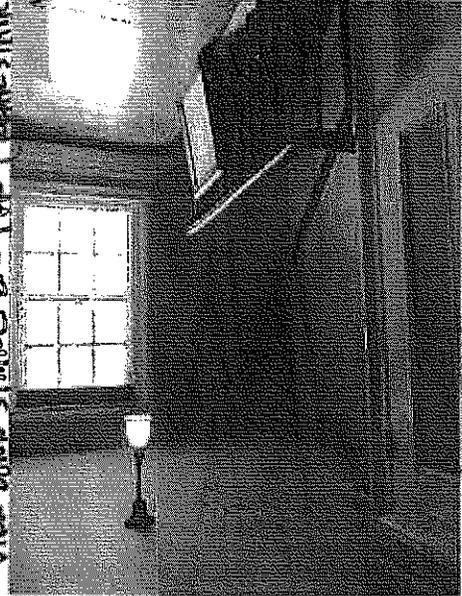
VIŠE DOKUMENTI I SEKURITATIVNI 2 - 2000 KM



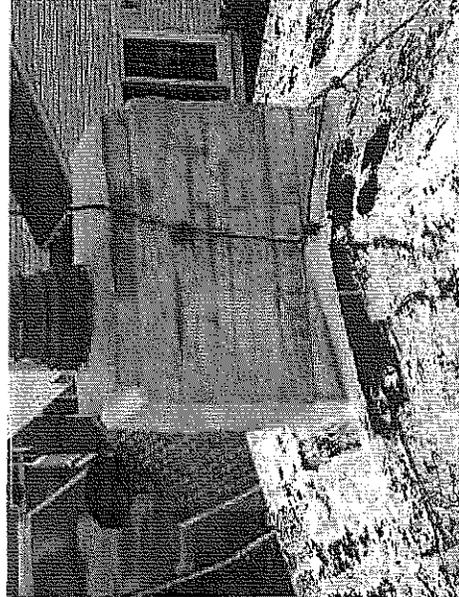
VIŠE DOKUMENTI I SEKURITATIVNI 1 - 2000 KM



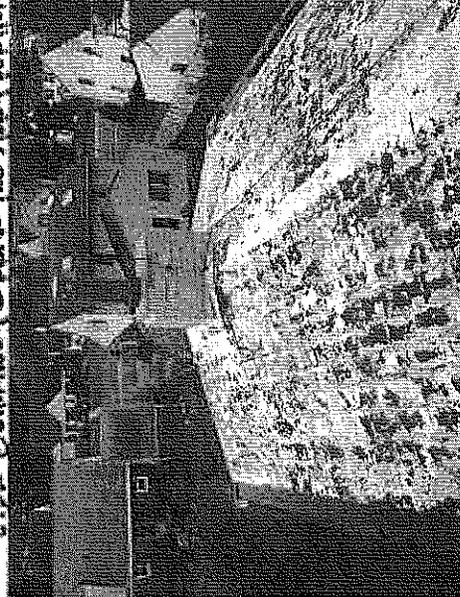
VIŠE DOKUMENTI I SEKURITATIVNI 1 - 2000 KM



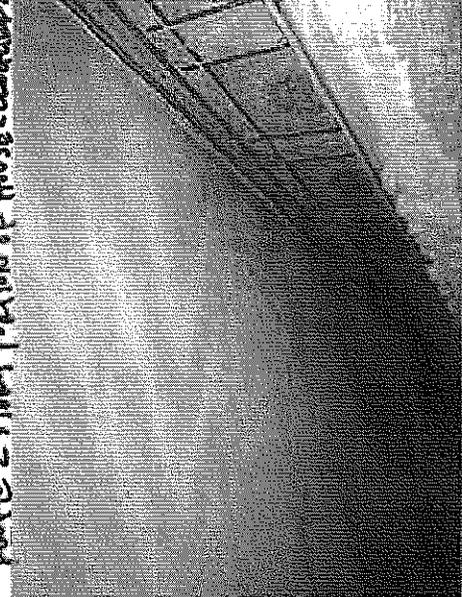
REKONSTRUKCIJA / SEKURITATIVNI 1 - 2000 KM



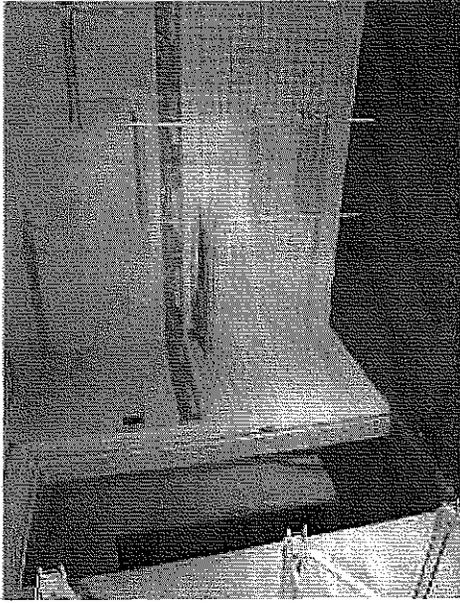
VIŠE DOKUMENTI I SEKURITATIVNI 1 - 2000 KM



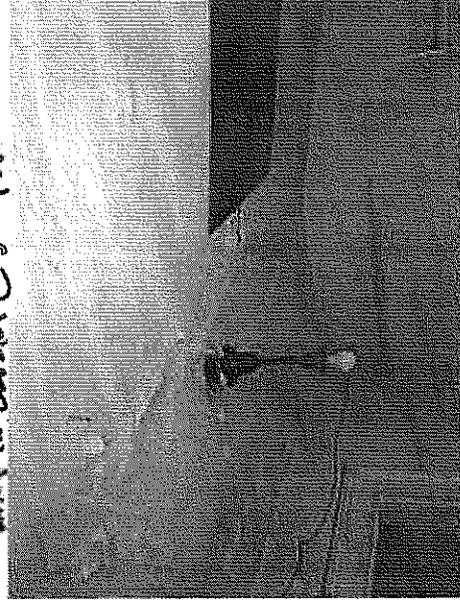
VIŠE DOKUMENTI I SEKURITATIVNI 1 - 2000 KM



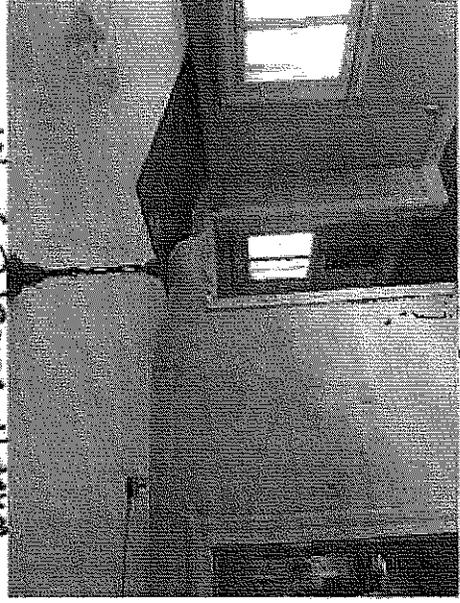
VIŠE DOKUMENTI I SEKURITATIVNI 1 - 2000 KM



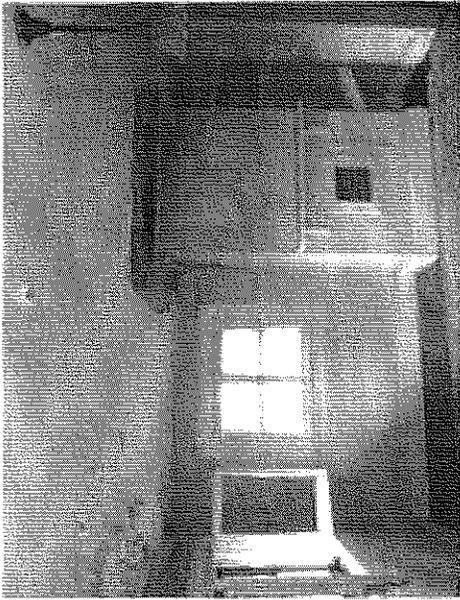
WATER IN CLOSET @ 3:00 PM



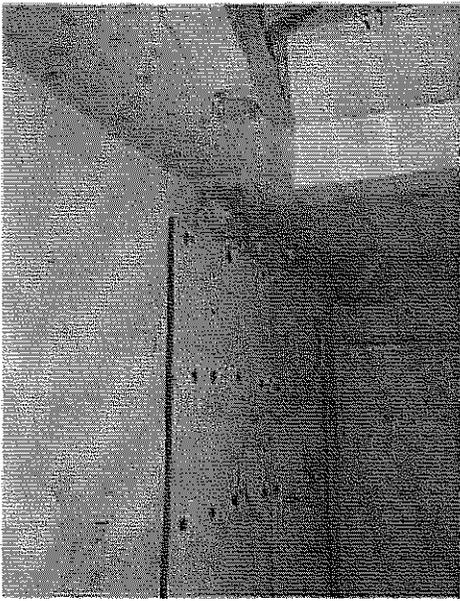
WATER IN CLOSET @ 3:00 PM



BR-1 @ 3:00 PM



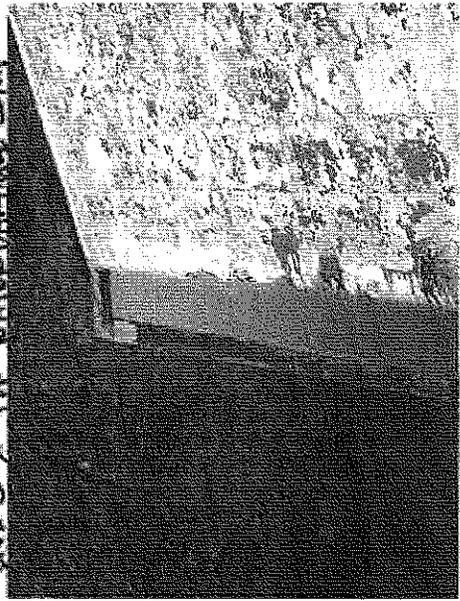
BR-5 @ 3:00 PM - WATER DAMAGED UNIT



BR-6 @ 3:00 PM - WATER DAMAGED UNIT



BR-7 @ 3:00 PM - WATER DAMAGED UNIT



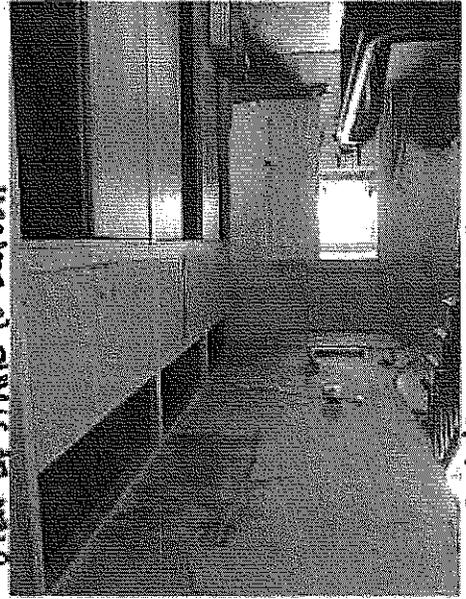
WATER IN CLOSET @ 3:00 PM



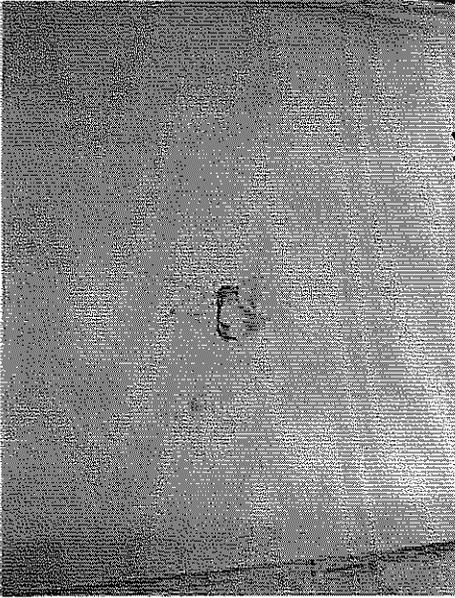
BE SE 300 FT.



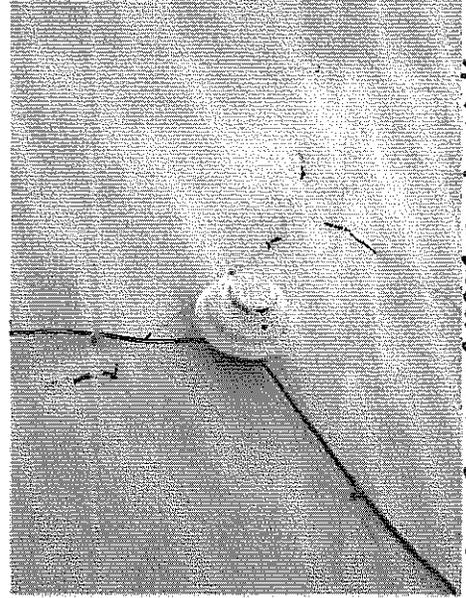
VIEW UP STAIR TO BALCONY



STAIR HALL C 300 FT



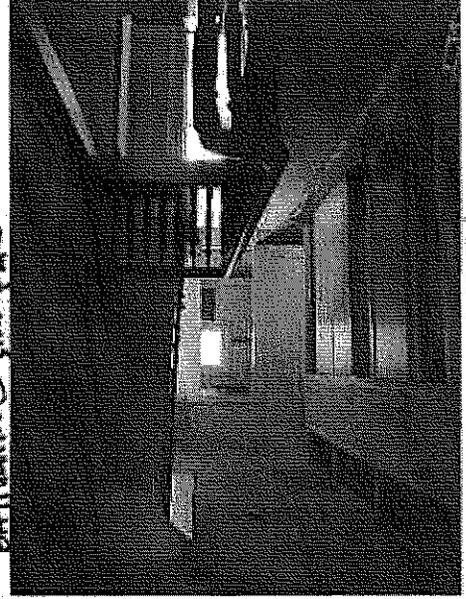
IMPACT DAMAGE C 100 FT SE 300 FT



EXPOSED SMOKE DETECTOR 1 WIRE
300 FT



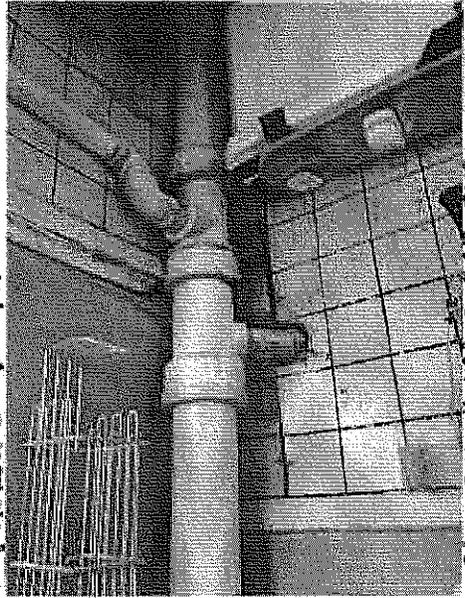
STAIR HALL C 300 FT



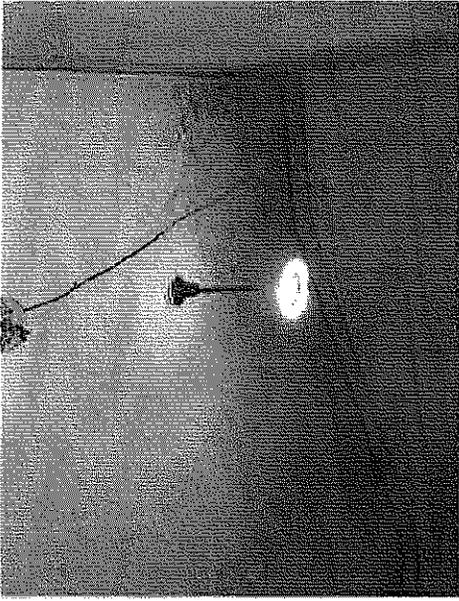
STAIR HALL C 300 FT.



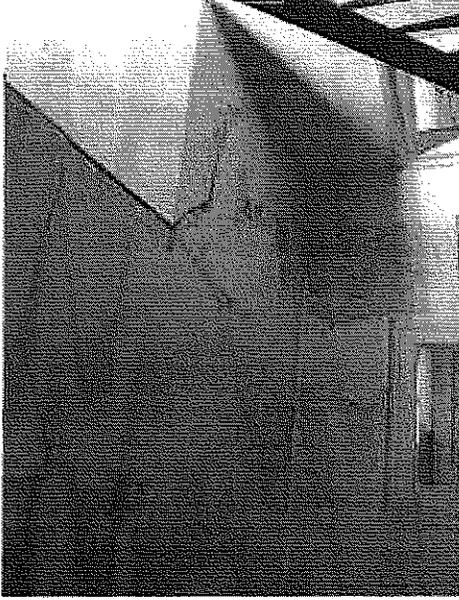
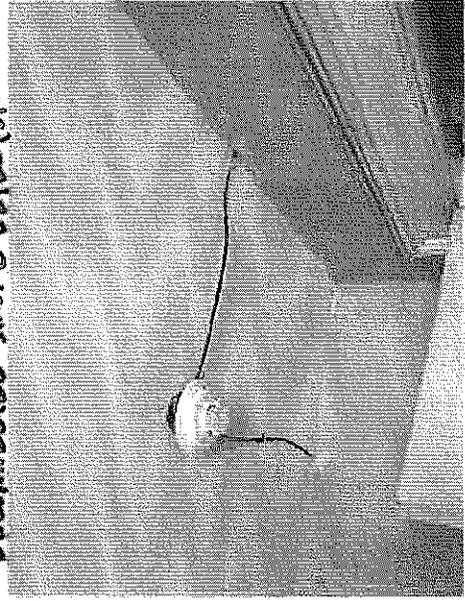
KITCHEN 3/10 PM



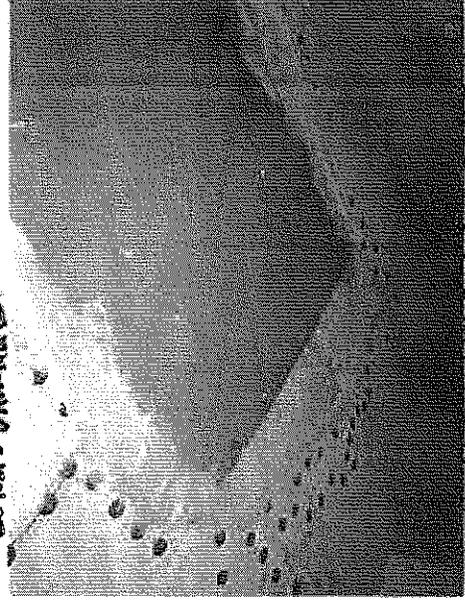
SHOWER KASE 3/10 PM



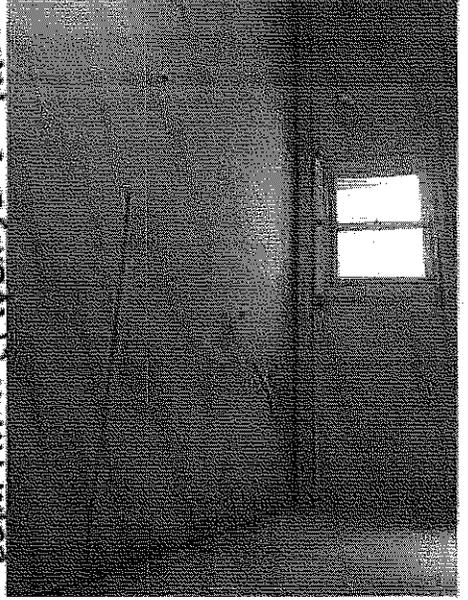
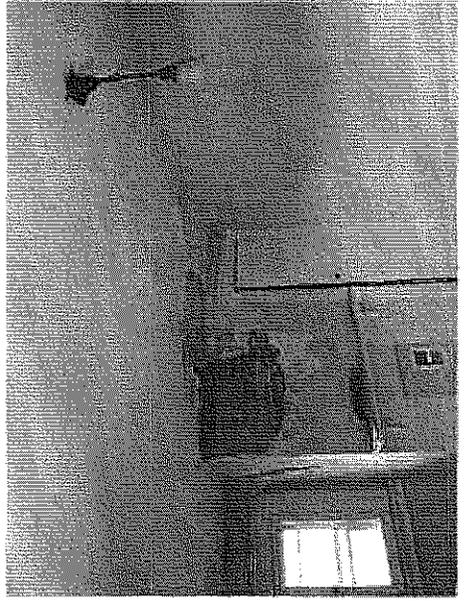
DISCONNECTED SINGLE OBJECT



CONCRETE DAMAGE



CONCRETE DAMAGE 3/10 PM





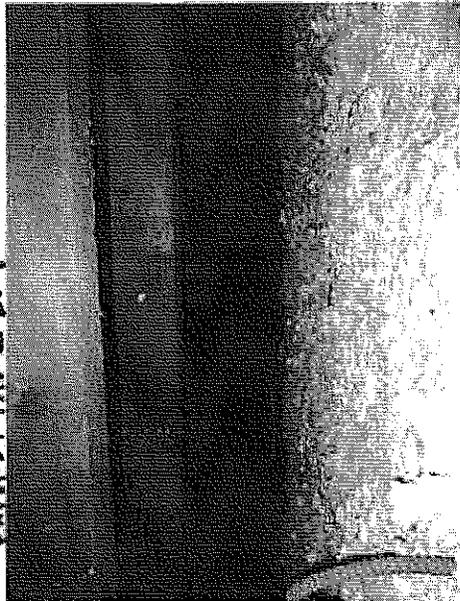
PLANING A ROOF - VIEW FROM PLEASANT DRIVE



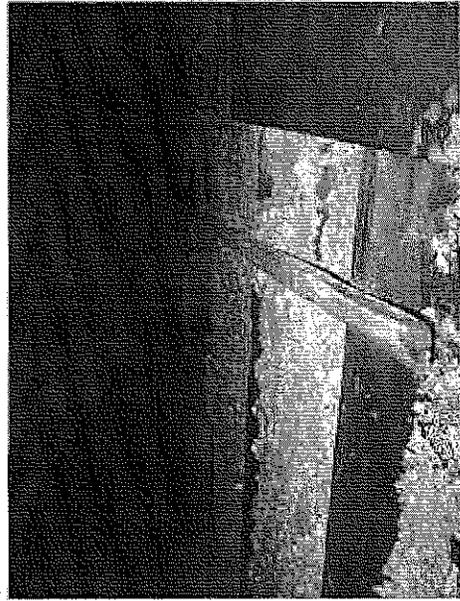
VIEWING WASTE



EXISTING FLOOR DECK



5 TRIM UP TO CAPOLA



ROOF SPACE w/ LOOSE INSULATION

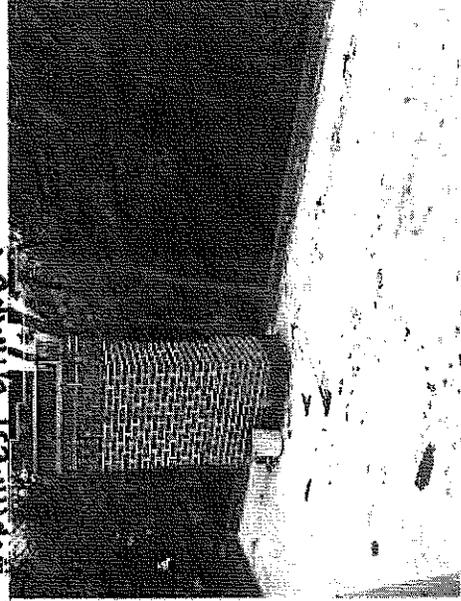




WESTER GUTTER MAN ROOF



NORTHWEST CHIMNEY



SOUTHWEST CHIMNEY



MAN ROOF FROM CUPOLA



TYPICAL CUPOLA WINDOW



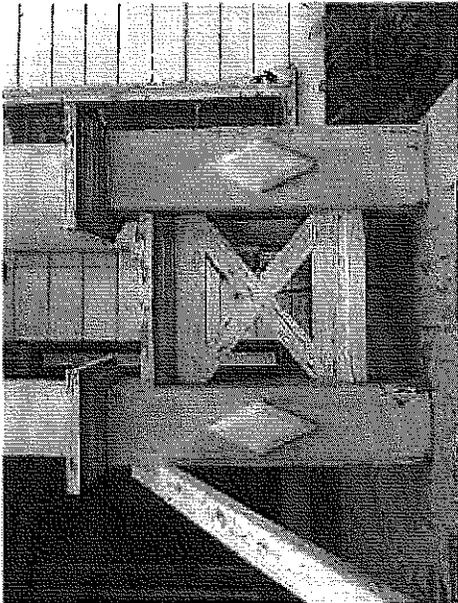
CUPOLA



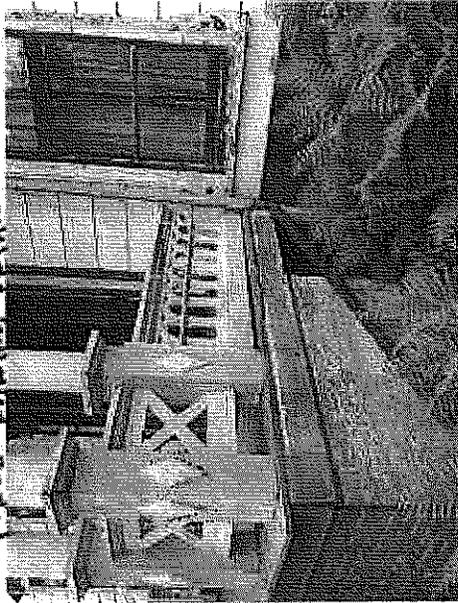
VIEW DR. STRIP FROM CUPOLA



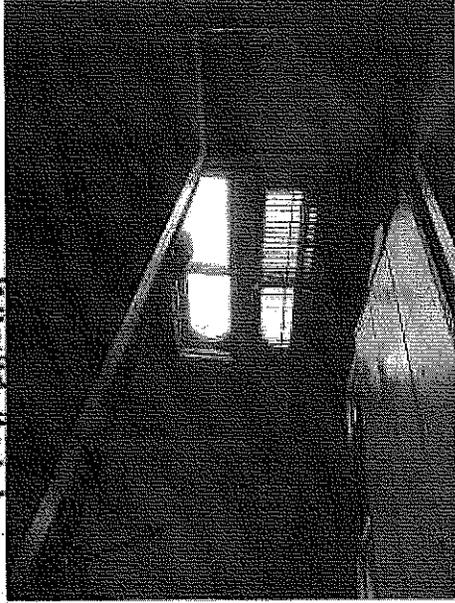
CUPOLA



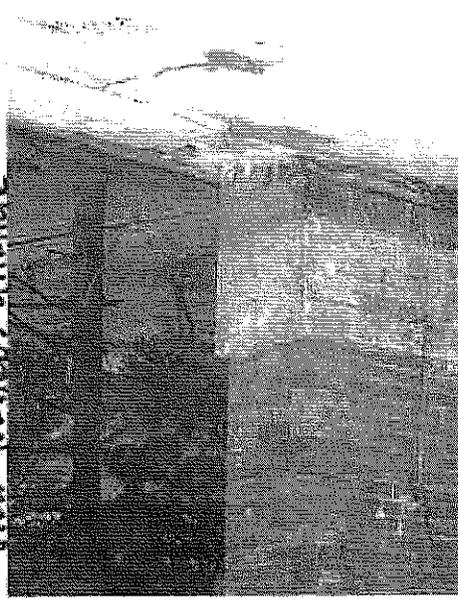
WIND BRACING



VIEW PORCH



VIEW PORCH & SURROUNDING



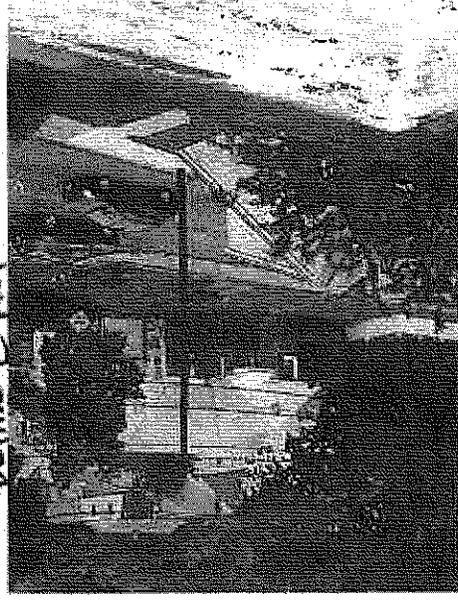
NORTHEAST CHIMNEY

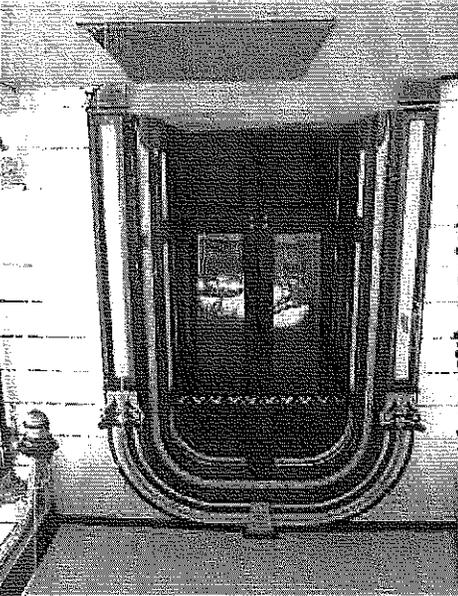


SOUTHWEST CHIMNEY



DETAIL OF ROOF





FRONT ENTRY DETAIL



DETAIL OF DOOR SILL



TYPICAL WINDOW DETAIL



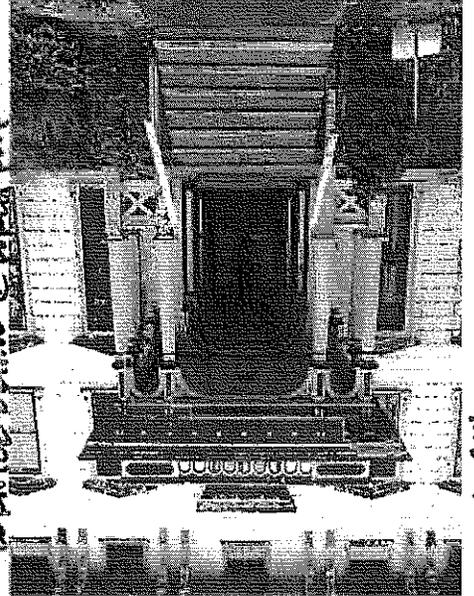
COFFICE DETAIL & PORCH ROOF



VESTIBULE PAINT DETAIL CHICAGO...



NORTH ELEVATION



POUCH



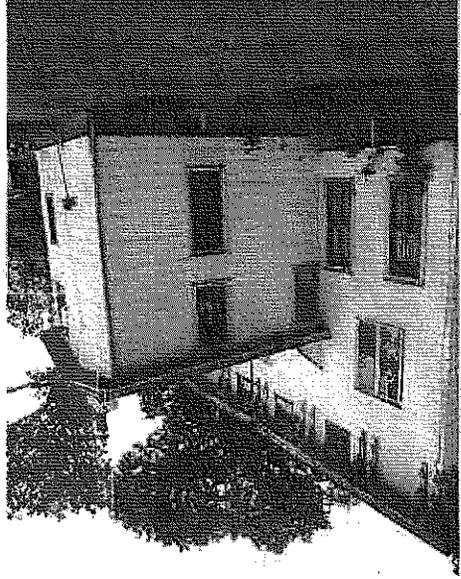
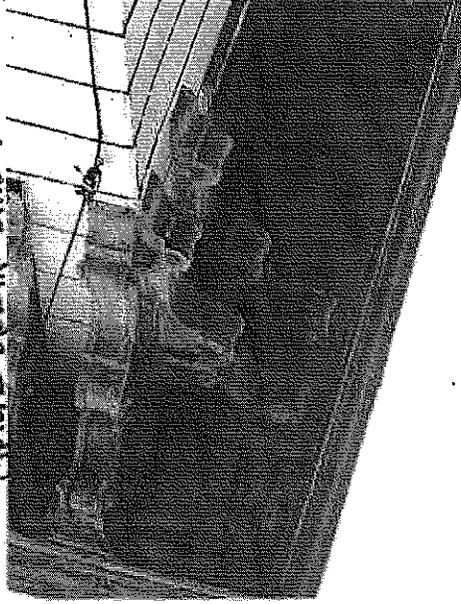
-- IN NAME.



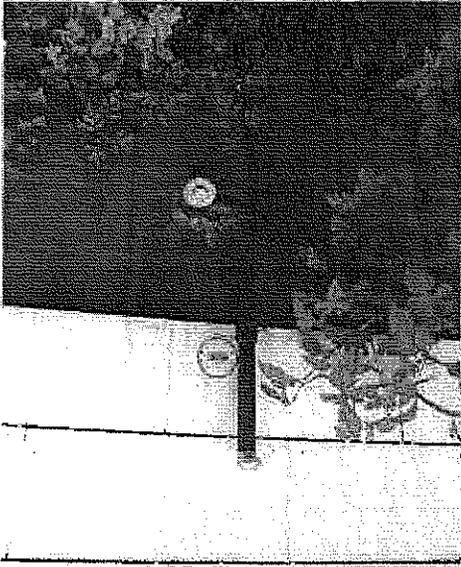
BRACKET DETAIL & POINT ROOF



TYPICAL CONCRETE WINDOW



SOUTH ELEVATION



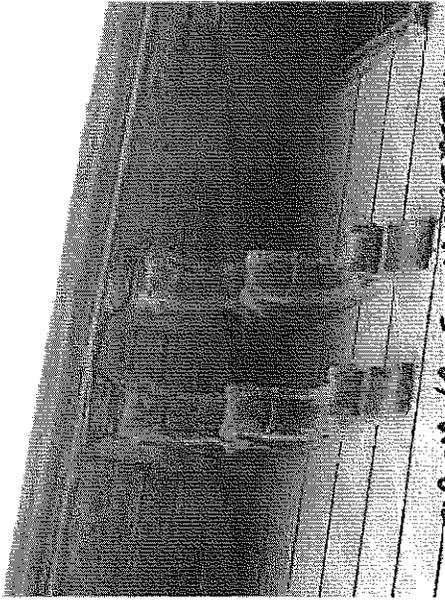
OIL FILL LINE



TYP. MAIN ROOF GUTTER DETAIL



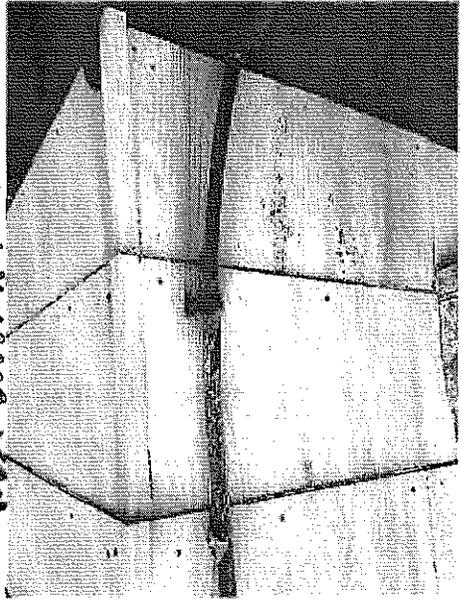
DAMPENED SUPPORT

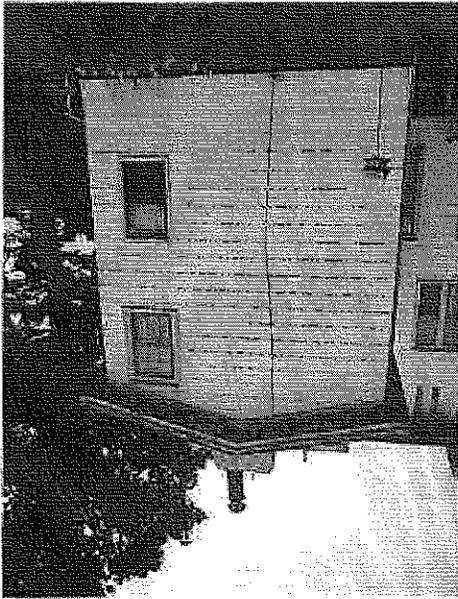


TYP. MAIN ROOF DAMPENED DETAIL

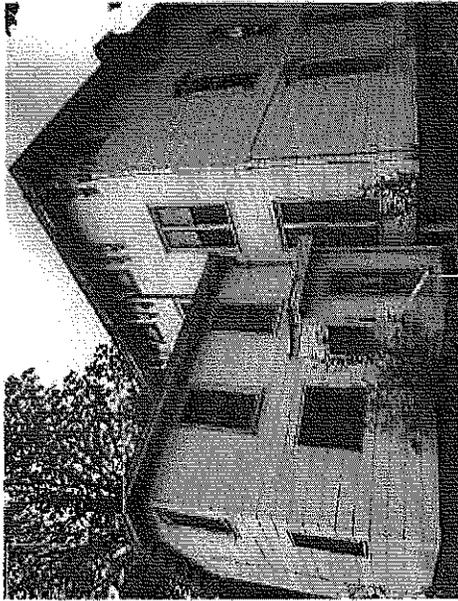


WEST ELEVATION

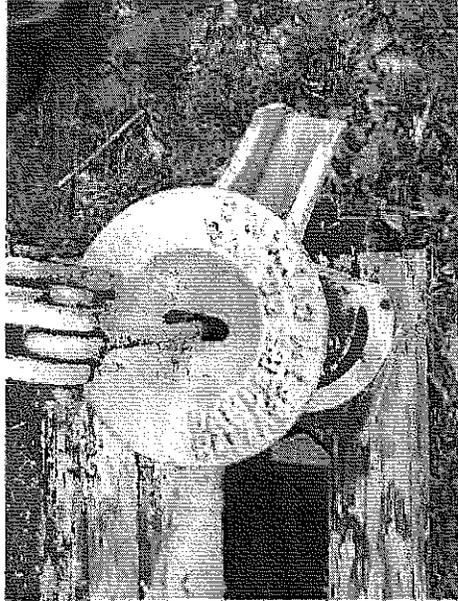




SOUTH ELEVATION



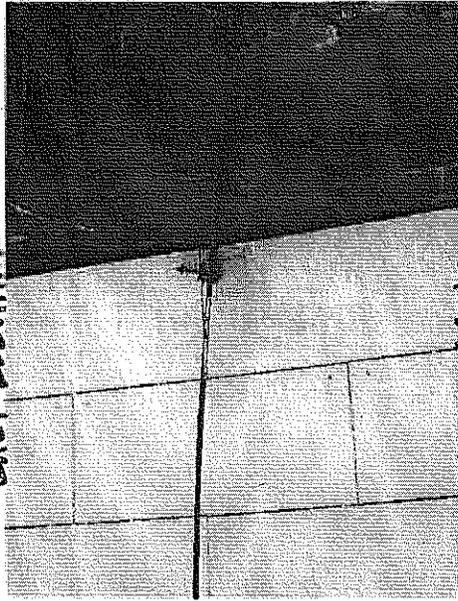
EAST ELEVATION



FORMER WELL HEAD



DAMAGED ROOF



HITCHING STANDING



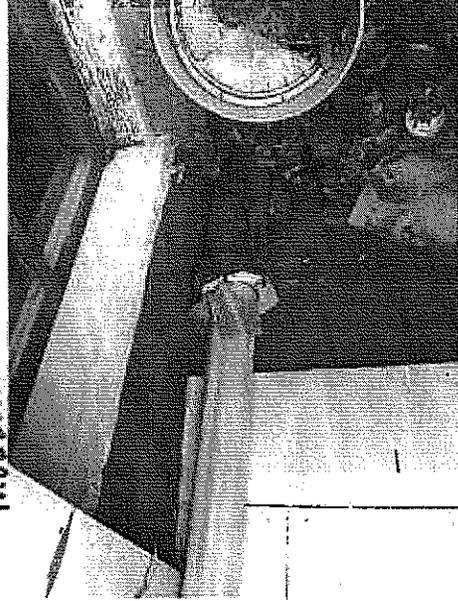
MUDRUM



LEFT HAND YANKEE KITCHEN



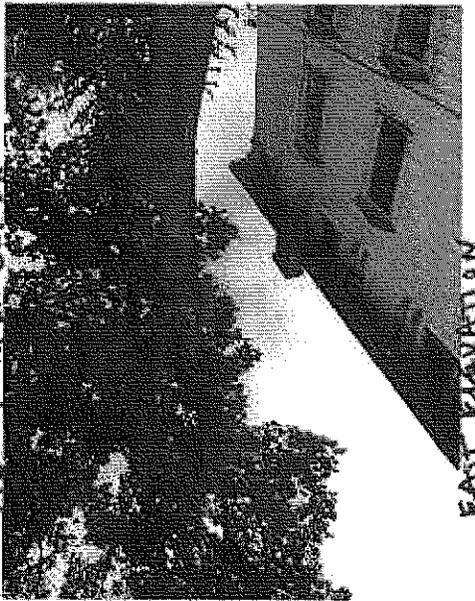
SOFFIT @ 2-37 PM BUDG



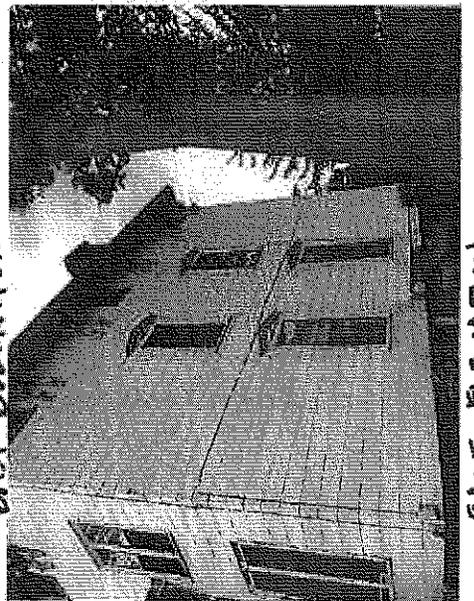
SUBGRADE STD CONCRETE LEADER



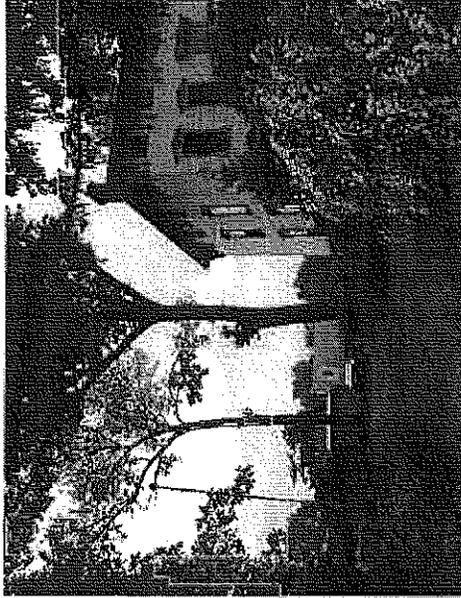
VIEW TOWARDS PORCH



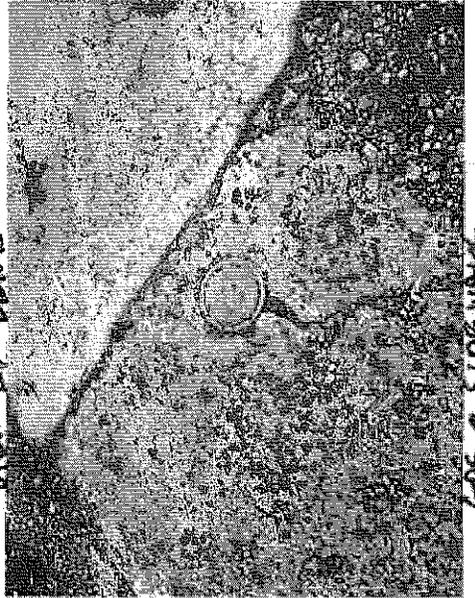
EAST ELEVATION



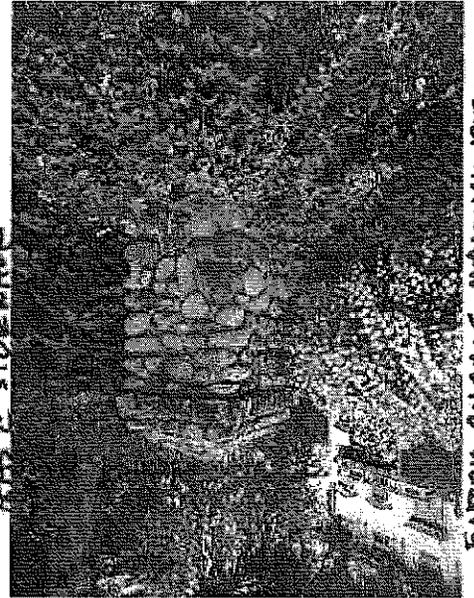
EAST ELEVATION



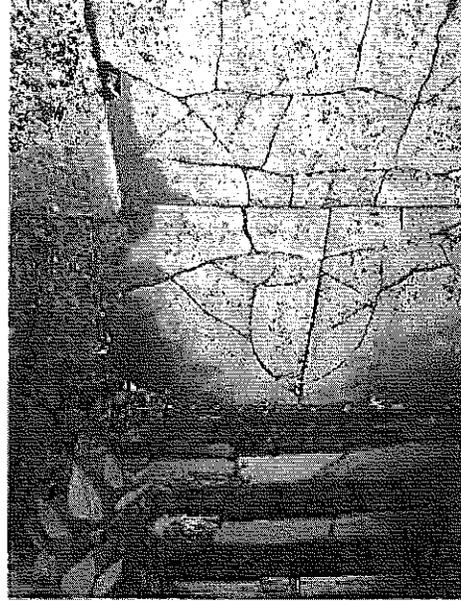
VIEW UP DRIVE



APR & SIDE WALL



EASTON BRICK & MASONRY PIER



CRACKED SIDE WALL



EAST SIDE & SIDE WALL

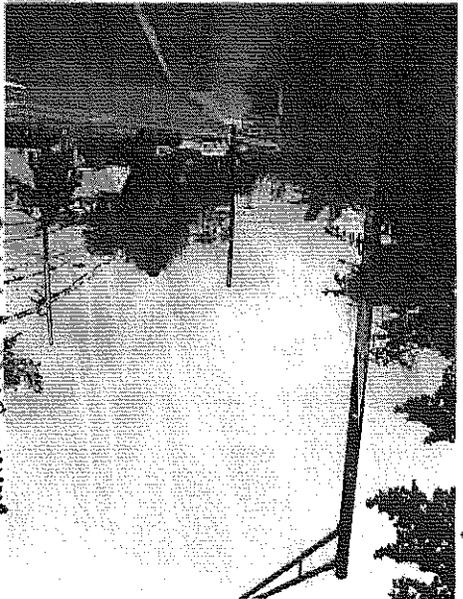




RIVER IN OHIO



MAIN EASTON HOME



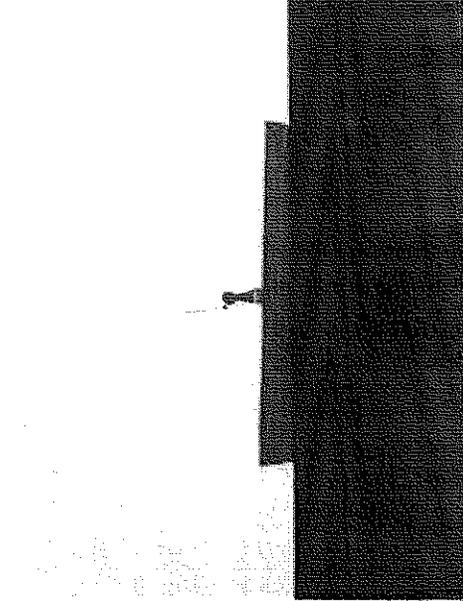
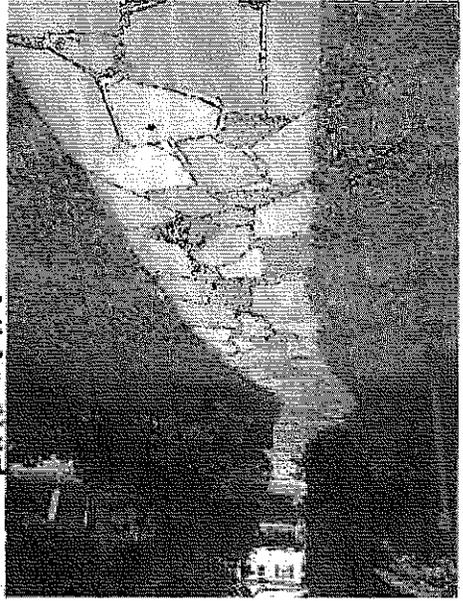
STREET LIGHT



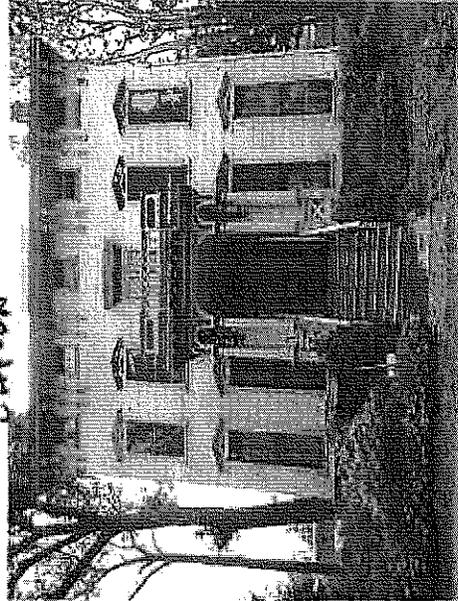
DRIVE IN FRONT OF HOUSE



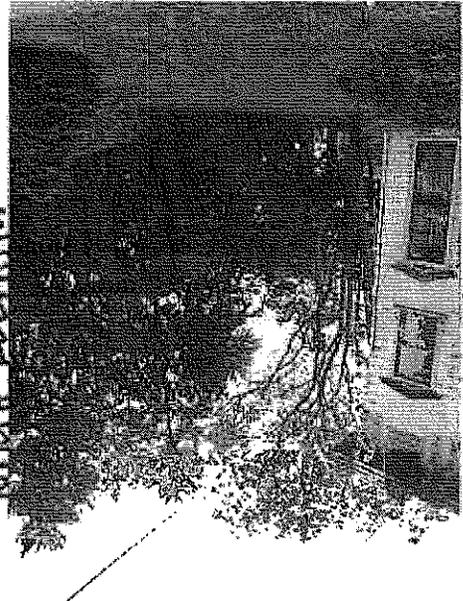
ENTRANCE DRIVE



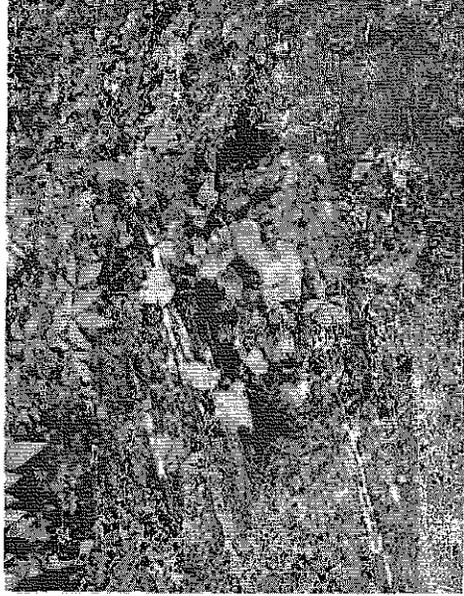
CHOPRA



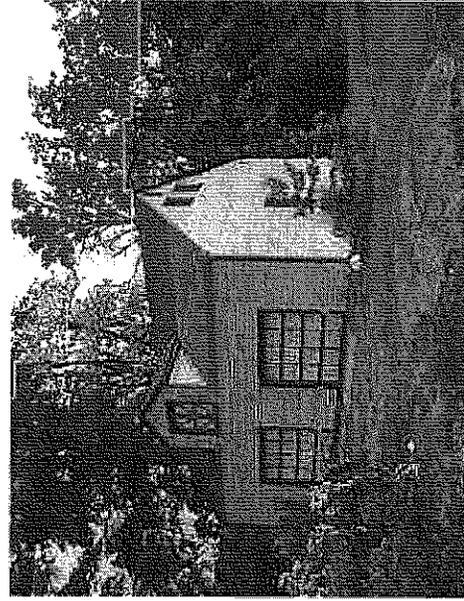
NORTH ELEVATION



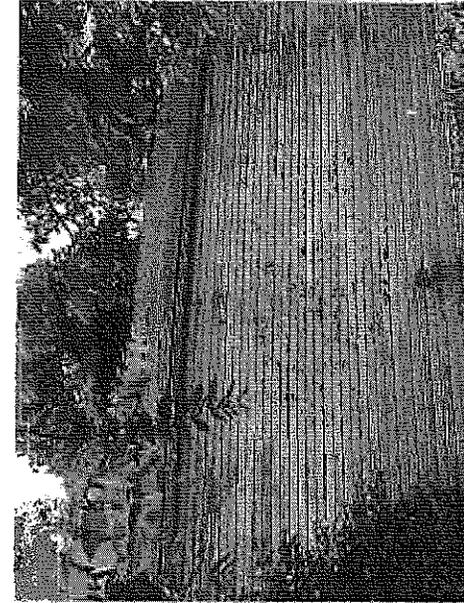
WEST YARD



SUBGRADE STRUCTURE (UNKNOWN)



WATER



TEAM OF CORRUGATED



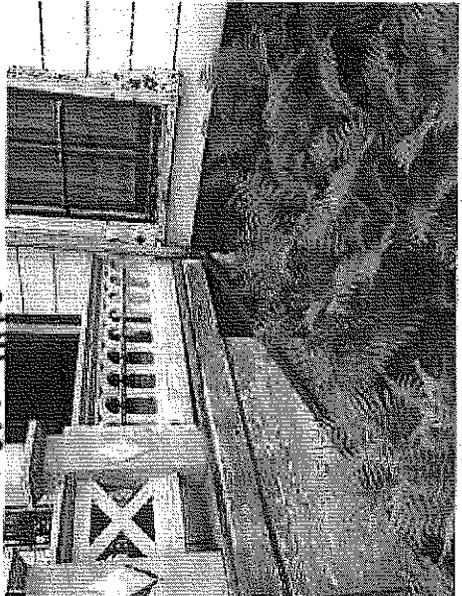
WEST YARD



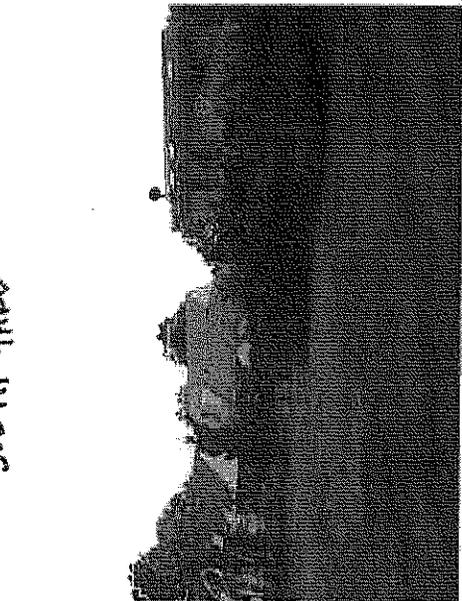
SOUTH YARD



YARD



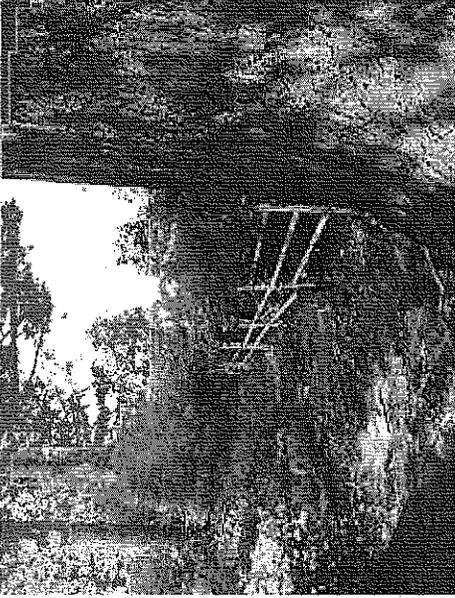
DETACHED PORCH



SOUTH YARD



SHED STRUCTURE



FENCE LINE ALONG HOUSEY ROAD



SIDE OF GARAGE



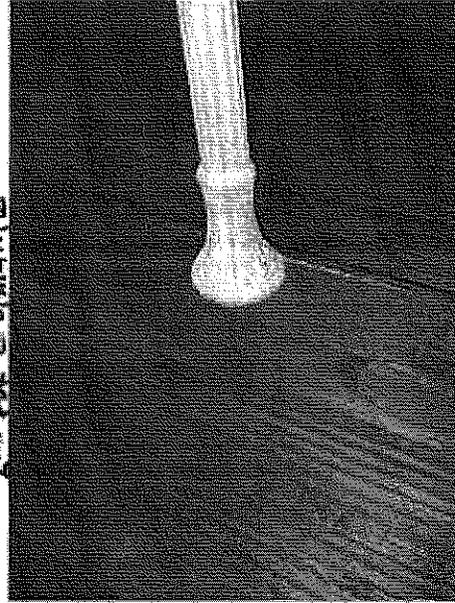
2ND FLOOR GARAGE



CRACKS IN WOOD SIDING



SIDING & GARAGE



CRAZY POST OF 2ND FLOOR GARAGE



CRACKS IN WOOD SIDING



VIEW TOWARDS HOUSE FROM GARAGE



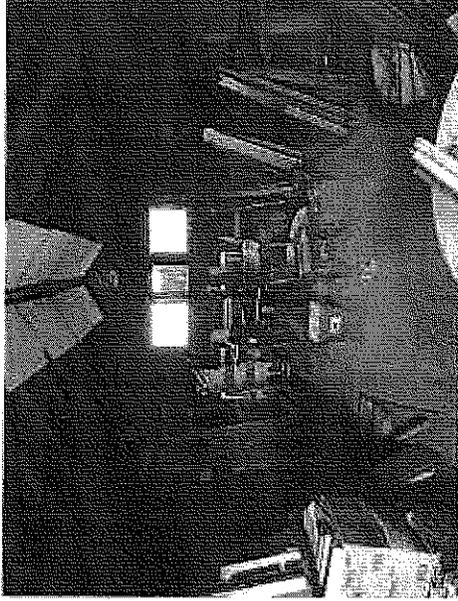
2ND FLOOR GARAGE



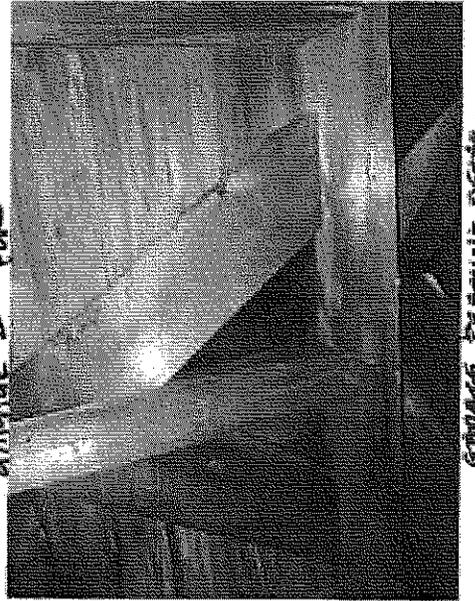
DOOR OF GARAGE 2ND FLOOR



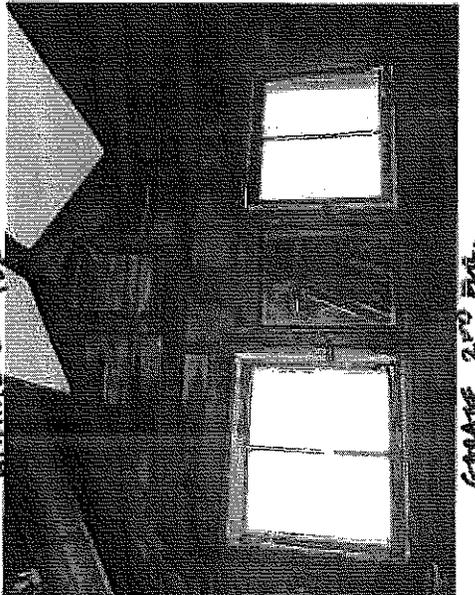
GARAGE 2ND FLOOR



GARAGE 2ND FLOOR

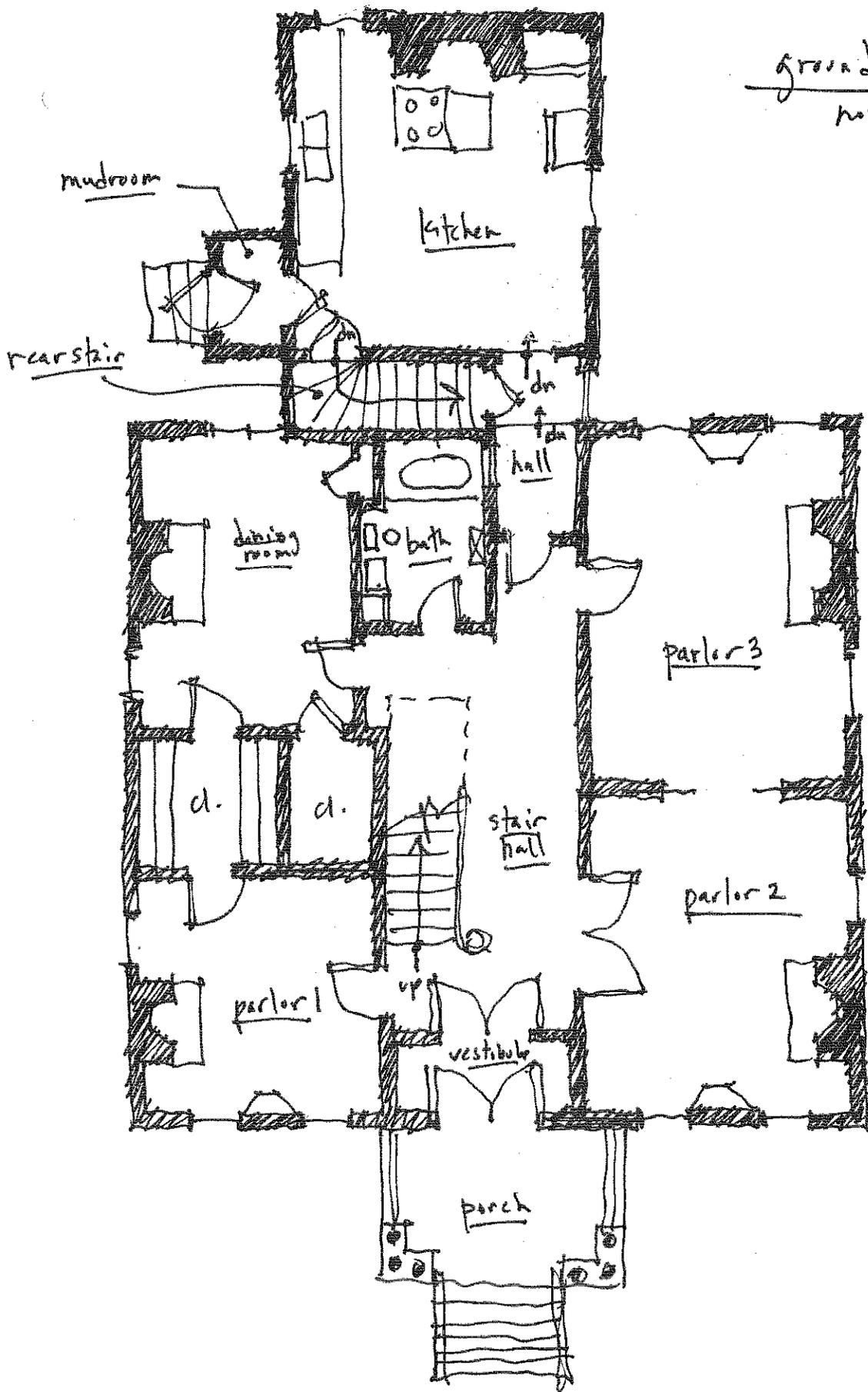


GARAGE TRAINING DESK

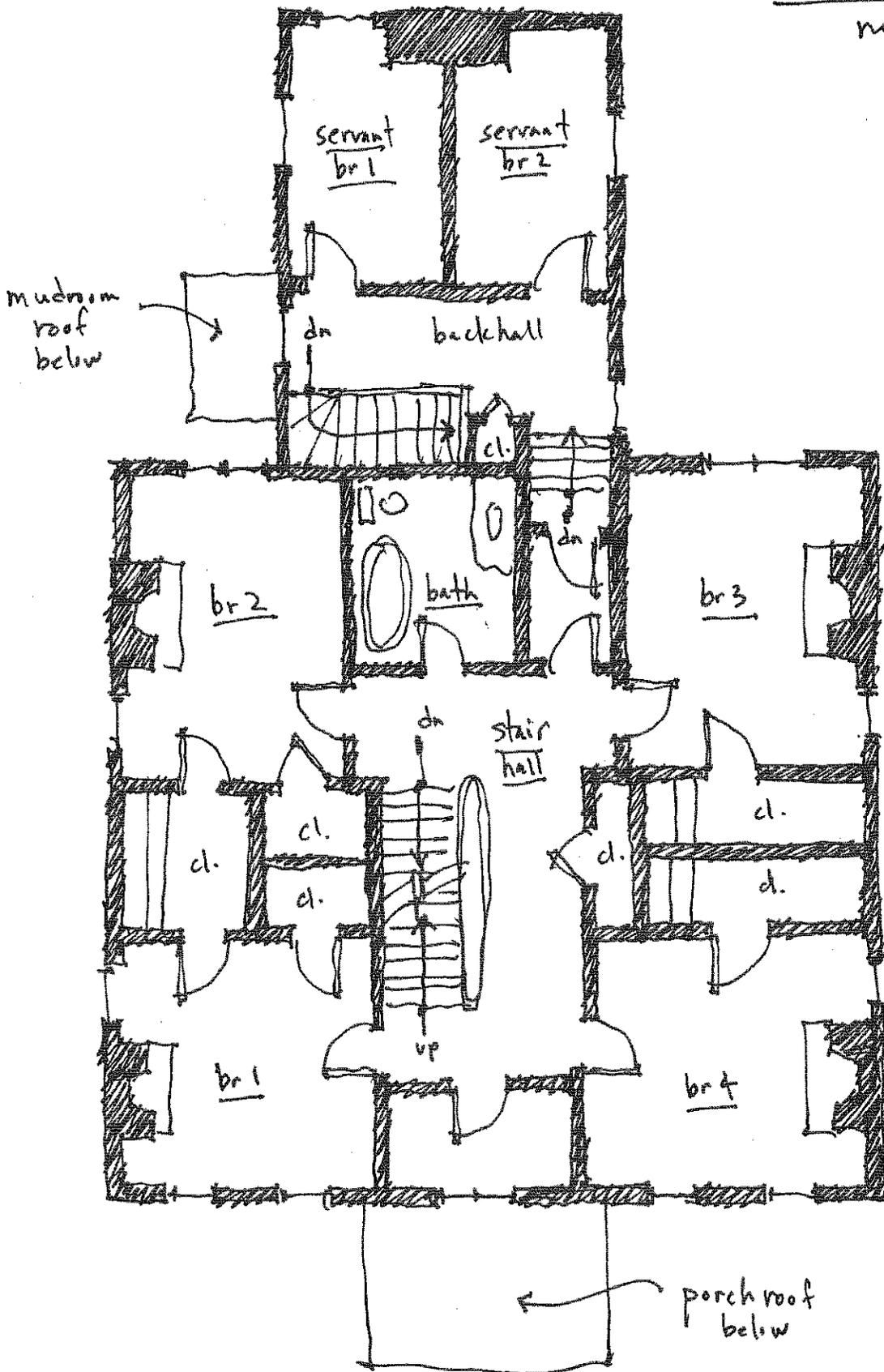


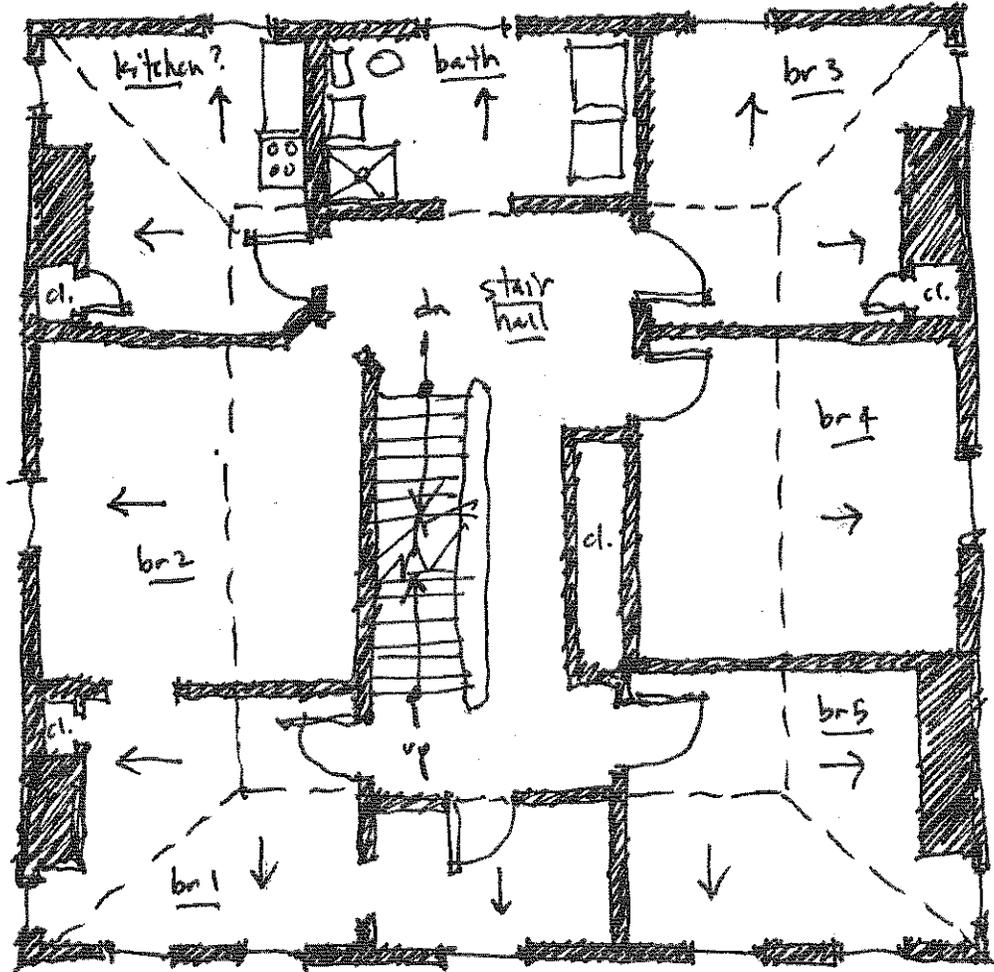
GARAGE 2ND FLOOR

ground floor diagram
not to scale



Second floor diagram
not to scale





" → " - denotes slope
of clay above

third floor diagram
not to scale

LAND USE AND DEVELOPMENT REGULATIONS

185 Attachment 1

Schedule A
 Area and Bulk Regulations
 Township of Rochelle Park, New Jersey
 [Amended 6-19-2002; 3-17-2004 by Ord. No. 904-04; 11-10-2004 by Ord. No. 916-04; 9-19-2007 by Ord. No. 974-07]

| Zone | Minimum Lot Area (sq. ft.) | Minimum Lot Width (ft.) ^(b) | Minimum Lot Depth (ft.) | Minimum Front Yard (ft.) | Minimum Side Yard One/Total (ft.) | Side Corner Lot (ft.) | Minimum Rear Yard (ft.) | Maximum Building Coverage (percent) | Maximum Improved Coverage (percent) | Maximum Building Height (s/ft) ^(c) | Max. DU Per Building (sq. ft.) |
|------------------------------|---|--|-------------------------|--------------------------|-----------------------------------|-----------------------|-------------------------|--|-------------------------------------|---|--------------------------------|
| Residential | 5,000 | 50 | 100 | 25 | 5/15 | 15 | 30 | 25% of first 5,000 square feet and 12.5% remaining square footage up to a maximum of 1,600 square feet | 50% | 2 1/2/30 | 1 |
| Garden Apartment | 10,000 | 100 | 100 | 25 | 15/30 | No standard | 25 | 30% | NA | 2 1/2/35 | 16 |
| Affordable Housing | 80,000 | 100 | 150 | 40 | 25/50 | No standard | 50 | 40% | 75% | 3/36 | No standard |
| Senior Citizen Accommodation | 3 acres | 50 | 150 | 50 | 35/70 | No standard | 50 | 20% | 40% | 4/55 | No standard |
| Senior Citizen Housing | 30,000 | 100 | 150 | 25 | 25/50 | No standard | 50 | 25% | 70% | 4/50 | No standard |
| Senior Citizen Accommodation | 3 acres | 50 | | 50 | 35/70 | No standard | 50 | 20% | 40% | 3/36 | 90 |
| Business A, B and C | No standard | No standard | No standard | 25 | 10/20 | No standard | 10 ⁽¹⁾ | 40% | No standard | 3/36 | No standard |
| Business Overlay BA 1 | This is an overlay zone. The area and bulk standards of each existing (underlying) zone district apply, except for building height. The maximum building height is 4 stories and 48 feet. For business and restaurant establishments the Business A zone area and bulk standards apply. Fast-food restaurants must comply with the regulations set forth in § 185-108D. | | | | | | | | | | |
| Neighborhood Business | 25,000 | 125 | 200 | 25 | 10/20 | 15 | 25 | 35% | 70% | 2 1/2/35 | No standard |
| Industrial A and B | No standard | No standard | No standard | 25 | 10/20 | No standard | 10 ⁽¹⁾ | 60% | No standard | 3/36 | No standard |

Notes:

- (1) Maximum height includes elevator towers and any other installation on the roof of the building.
- (2) For an irregularly shaped lot, with sides that are not parallel, the average width may be taken in place of the actual street frontage, provided that the structure shall be set back so the front building line meets the minimum width.
- (3) When a rear lot line abuts a residential district, the minimum rear yard setback shall be 25 feet.